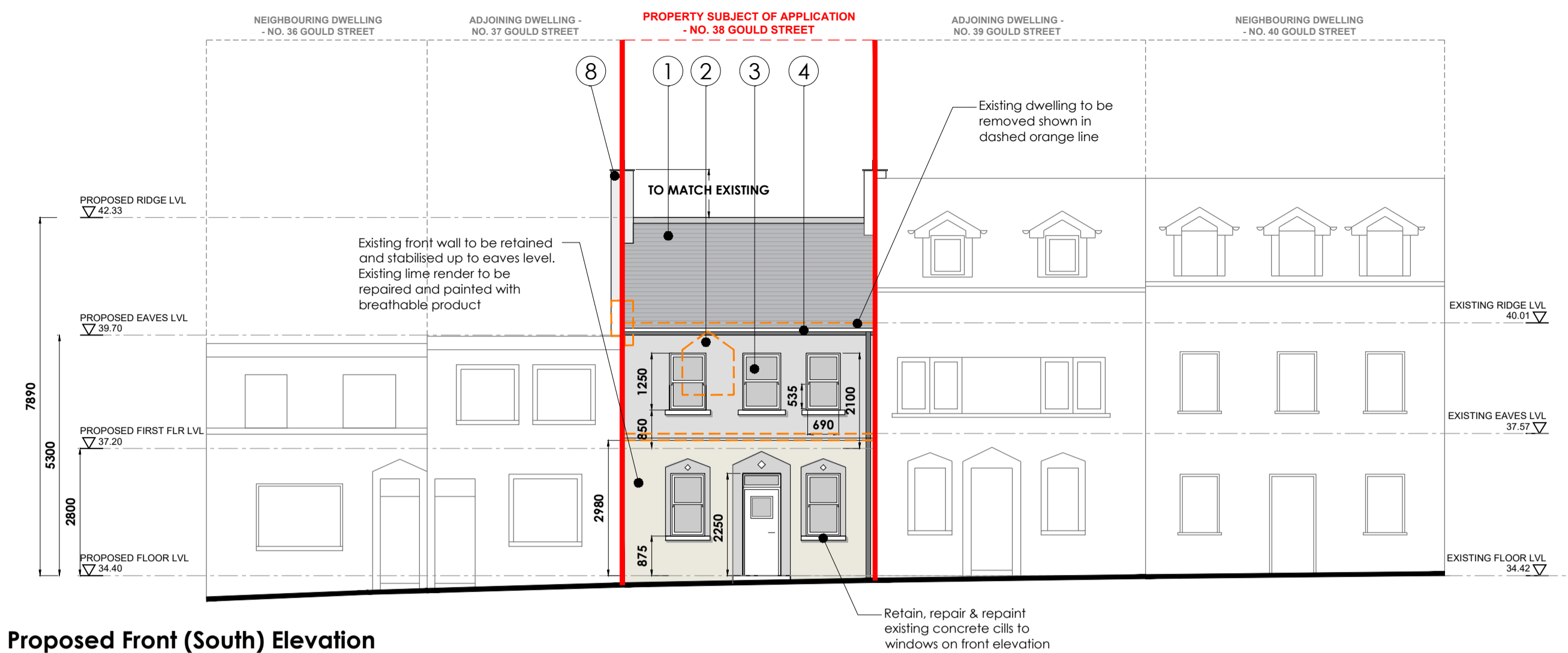
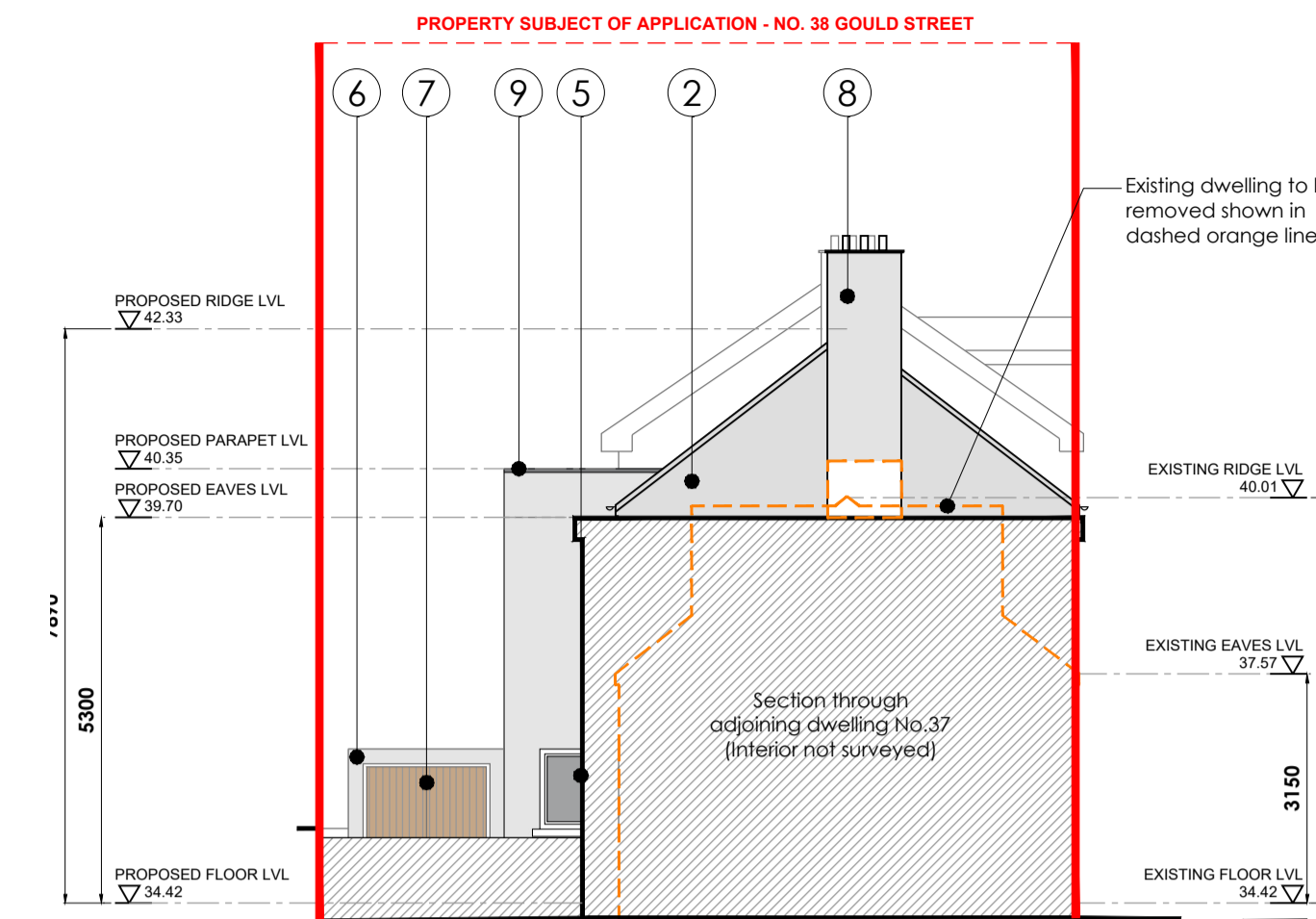


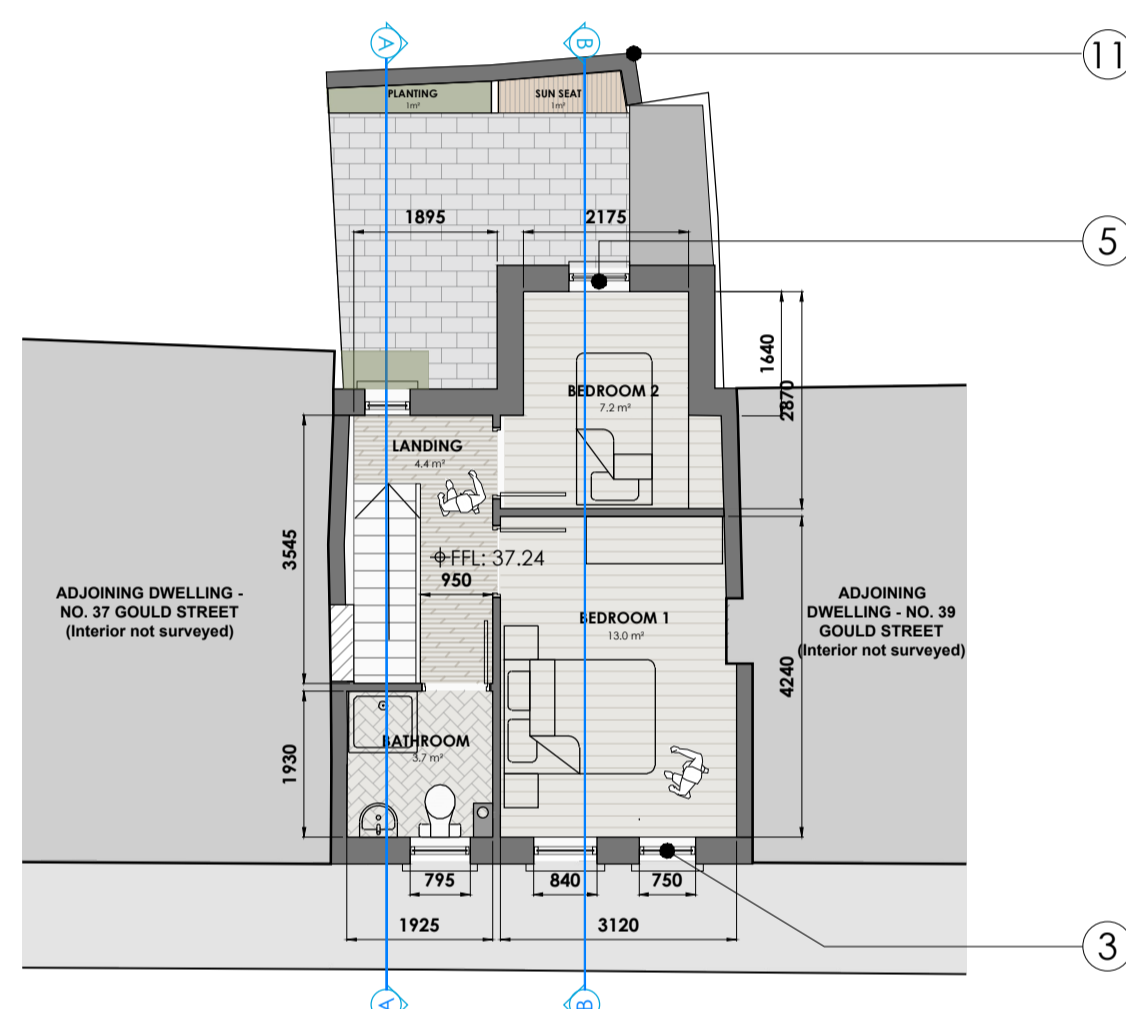
Proposed Ground Floor Plan
Scale 1:100



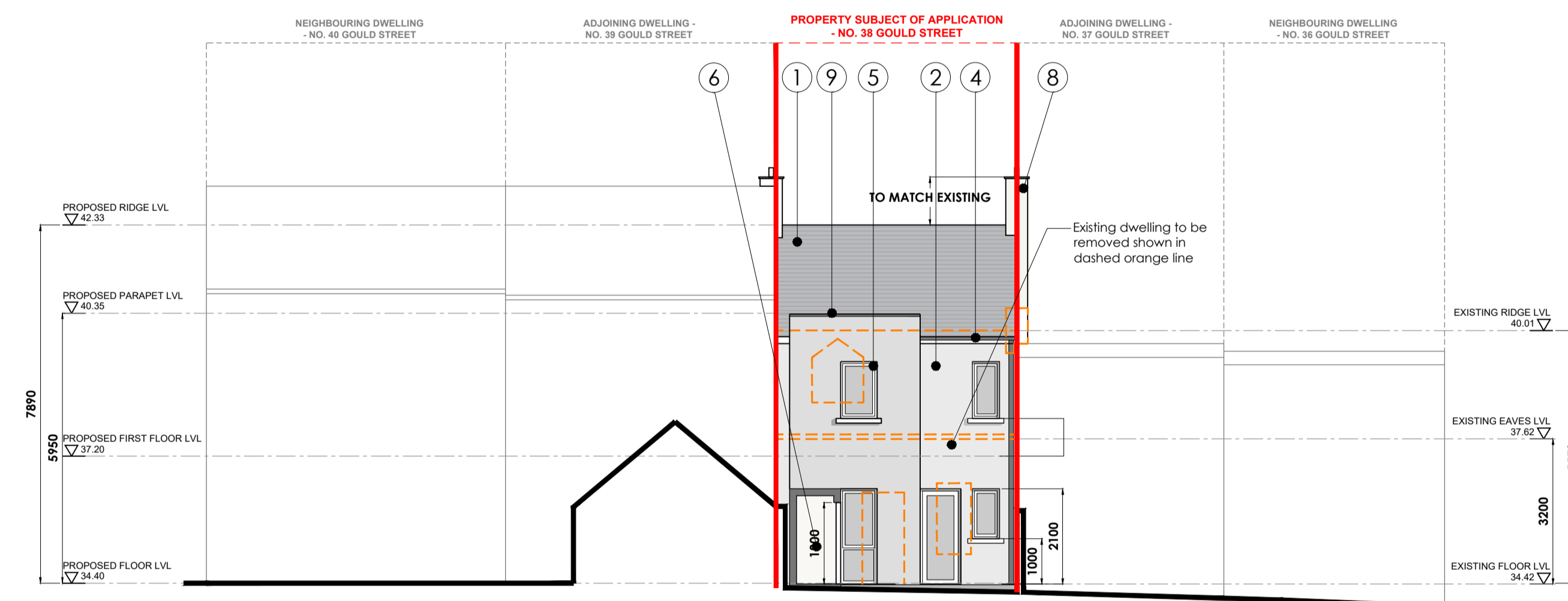
Proposed Front (South) Elevation
Scale 1:100



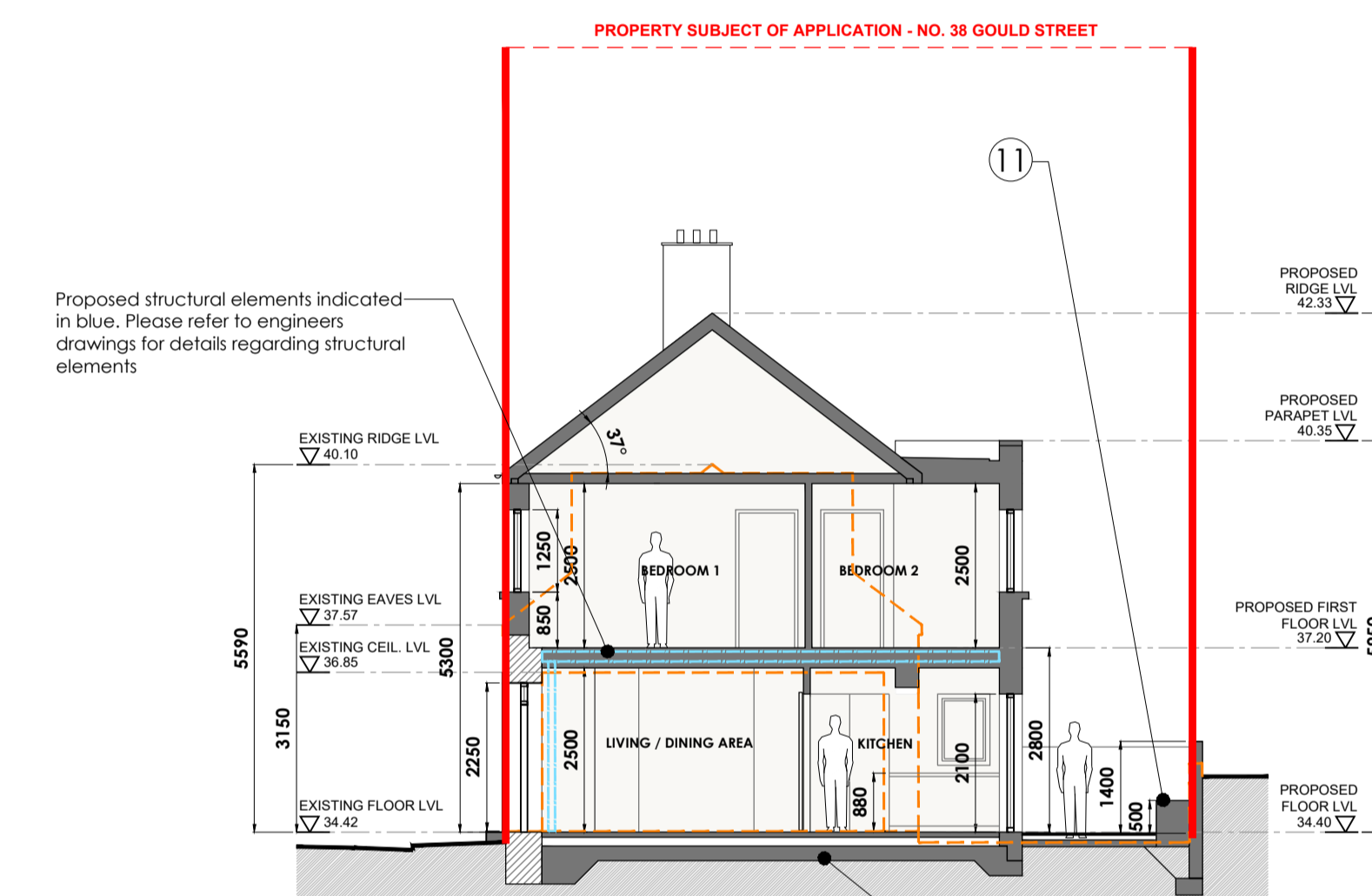
Proposed Side (West) Elevation
Scale 1:100



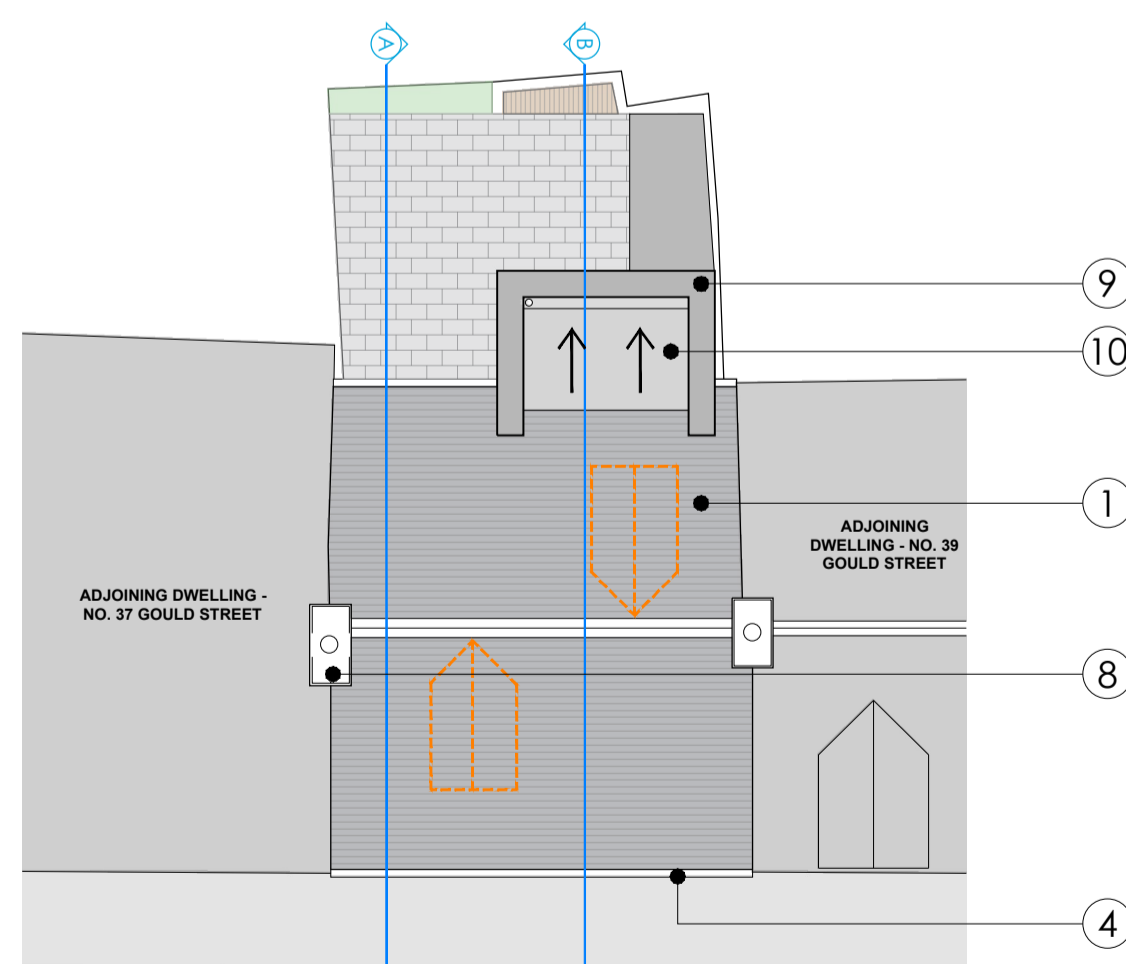
Proposed First Floor Plan
Scale 1:100



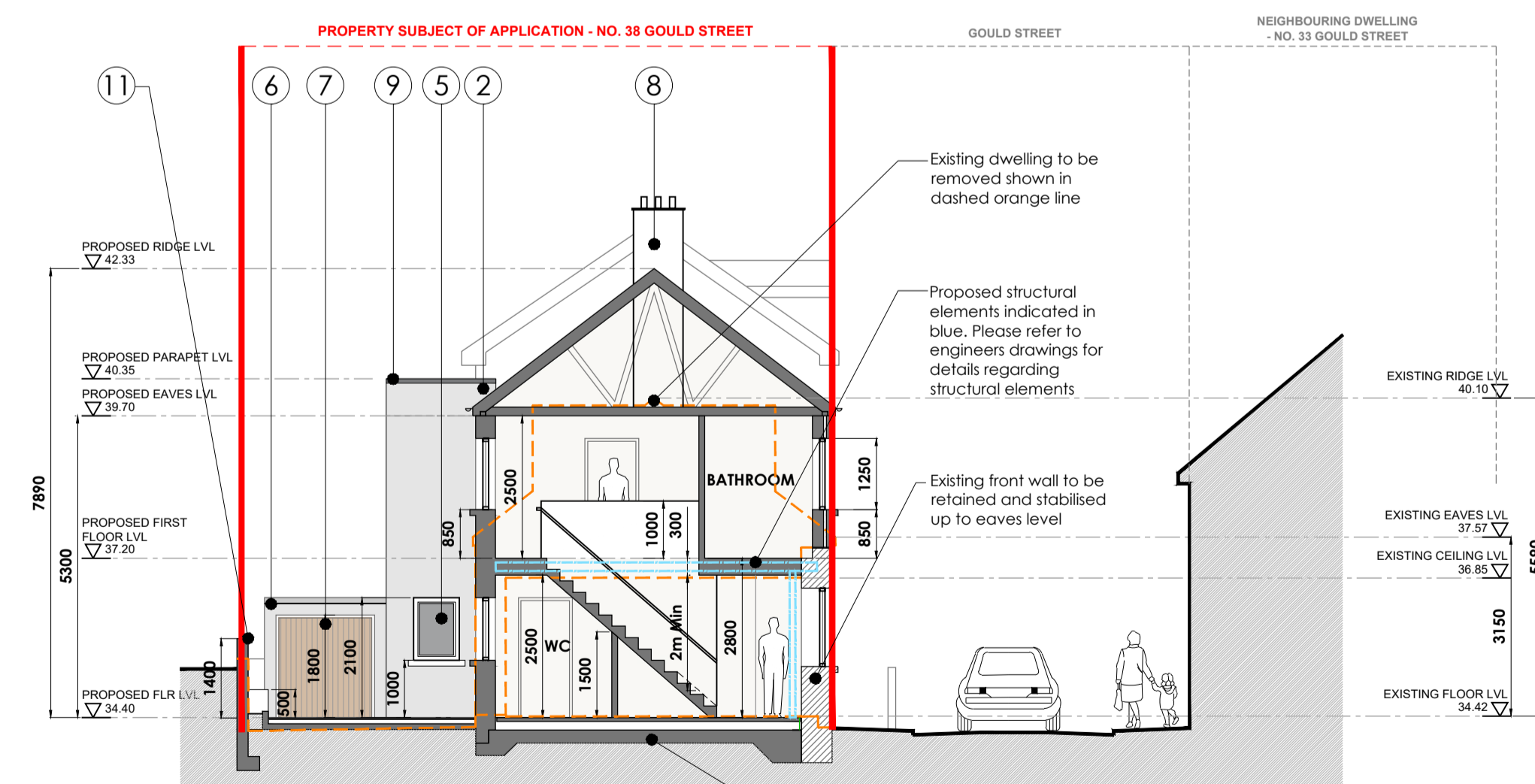
Proposed Rear (North) Elevation
Scale 1:100



Proposed Cross Section BB
Scale 1:100



Proposed Roof Plan
Scale 1:100



Proposed Cross Section AA
Scale 1:100

Materials Keys

- 1 Blue / Black natural roof slates
- 2 Walls to be plastered and painted in selected colour (cement based plaster where new blockwork construction)
- 3 Double glazed, slim-line, timber sliding-sash windows to front elevation in selected colour with precast concrete cills
- 4 Rainwater goods to be alu-cast half-round gutters and circular pipes in selected colour
- 5 Double glazed uPVC / Aluminium windows in selected color to rear of dwelling only
- 6 Block-work external store - Walls to plastered and painted externally in selected colour. Profiled metal roof
- 7 Timber louvred double doors to external store
- 8 Existing chimney to be extended above proposed ridge height to match existing chimney opposite
- 9 Parapets to flat roof with pressed aluminum capping in selected colour to match windows
- 10 Insulated flat roof building with selected membrane finish in dark grey colour
- 11 Existing bulging retaining wall to be replaced with RC wall - Refer to Engineers details. Form new timber clad seat from RC concrete also - See plan and section

Accommodation Schedule:

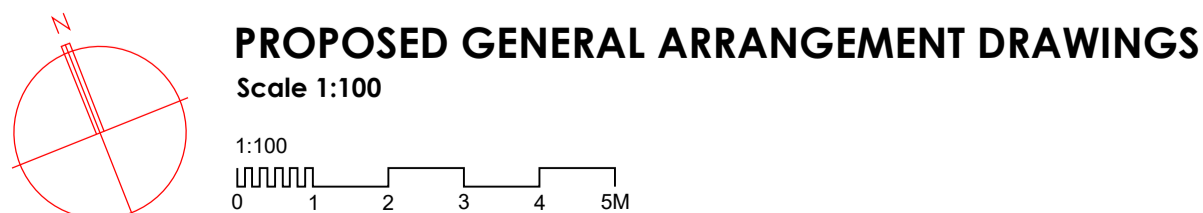
PROPOSED DWELLING

Proposed Ground Floor area:	29.9 sq,m
Proposed First Floor area:	29.1 sq,m
Total Overall floor Area:	59.0 sq,m

For breakdown of accommodation areas please refer to table within architects report

- Proposed Construction
- Existing Walls
- Existing structure to be removed / demolished

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ENGINEERS DRAWINGS



STANDARD INSTRUCTIONS

- THE MAIN CONTRACTOR, SUB-CONTRACTOR OR SUPPLIER SHALL:
 - VERIFY ALL DIMENSIONS ON SITE AND IMMEDIATELY REPORT TO THE ARCHITECT ANY DISCREPANCIES ON THE DRAWINGS.
 - WORK TO FIGURED DIMENSIONS ONLY (EXCEPT WHERE FULL SIZE DETAILS ARE PROVIDED).
 - NOT VARY ANY WORK SHOWN ON THE DRAWINGS WITHOUT OBTAINING PRIOR APPROVAL FROM THE ARCHITECT.
 - BE RESPONSIBLE FOR REQUESTING FROM THE ARCHITECT ANY ADDITIONAL INFORMATION REQUIRED.
 - SUPPLY TO THE ARCHITECT ALL SHOP DRAWINGS, ILLUSTRATIONS, SPECIFICATIONS, ETC. OF ALL SPECIALIST WORK TO BE INCORPORATED IN THE MAIN CONTRACT WORKS.
- IMMEDIATELY INFORM THE ARCHITECT IF ANY WORK SHOWN ON THE DRAWING IS NOT IN ACCORDANCE WITH THE RELEVANT CODES OF PRACTICE RECOGNISED GOOD PRACTICE THROUGHOUT THE INDUSTRY AND DOES NOT COMPLY WITH THE RELEVANT LOCAL AUTHORITY BYE-LAWS OR BUILDING REGULATIONS.
- IMMEDIATELY ADVISE THE ARCHITECT / QUANTITY SURVEYOR OF THE EFFECT UPON PROGRAMME AND COST OF ANY ALTERATIONS TO THE PROPOSED WORKS SHOWN ON THIS DRAWING.
- THIS DRAWING SUPERSEDES ALL PREVIOUS ISSUES OF THE SAME DRAWING NUMBER WITH EARLIER REVISIONS.
- THIS DRAWING IS COPYRIGHT TO KENNETH HENNESSY ARCHITECTS LTD. AND THE CONTENTS MUST NOT BE DISCLOSED TO ANYONE WITHOUT PRIOR AGREEMENT.

GENERAL NOTES

ALL DIMENSIONS TO BE CHECKED ON SITE.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS AND DRAWINGS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN DRAWINGS THE CONTRACTOR IS TO INFORM THE ARCHITECT IMMEDIATELY.

DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.

ALL WORK TO COMPLY WITH CURRENT BUILDING REGS & B.S.

REVISION REGISTER

REV	DATE	DESCRIPTION	DRAWN	CHECKED	APPROVED
-	-/-/-	-	-	-	-
-	-/-/-	-	-	-	-
-	-/-/-	-	-	-	-
P01	06/08/2024	ISSUED FOR PLANNING - PART VIII (179A)	DC	AQ	PC

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Clonmel, Co. Tipperary

RIAI

SCALE: 1:100

STATUS: Planning - Part VIII

CUSTOMER: CORK CITY COUNCIL

PROJECT: PROP. EXTENSION & RENOVATION OF EXISTING DWELLING AT NO.38, GOULD ST, THE LOUGH, CORK CITY, CO. CORK

DRAWING TITLE: GENERAL ARRANGEMENT DRAWINGS

PROJECT	2244	DATE	KHA	DESIGN	ZZ	DR	DR	AP	PD	1100	S1	P01
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