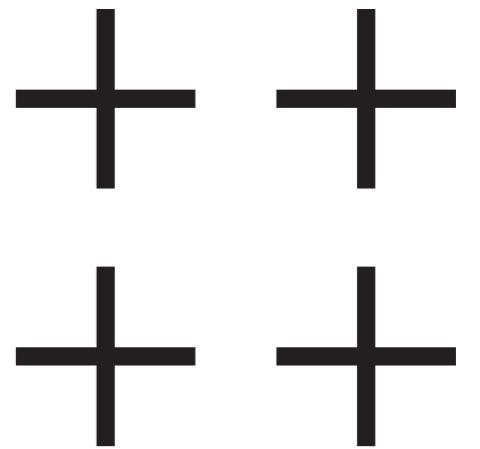


# PLUSARCHITECTURE

CLÚID HOUSING  
MAHON  
CO. CORK

MAY 2025



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# DESIGN STATEMENT

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## INTRODUCTION

This Design Statement has been prepared by PLUS Architecture on behalf of Cluid Housing for the Part 8 application for development at the Skehard Road site on Ballinure Avenue, Mahon, Co. Cork

The development will consist of:

- The construction of 22 new social housing dwellings organised in 4 no. 2 storey townhouses and 18 apartments in a 3 and 4 storey building
- Resident parking of 20 spaces, covered bike store and bin store
- All associated site and landscaping works including replacement of the vehicular and pedestrian gates at the entrance.

## SITE CONTEXT

### LOCATION



The site is located at the corner of Skehard Road and Ballinure Avenue, in Mahon, Cork City. It is 1.6km from Mahon Shopping Centre. The surrounding area features a range of terraced and semi-detached dwellings.

The site is bounded to the south by St Michael's Cemetery. The site, which is the ownership of Cork City Council, was previously occupied by a hostel. This has since been demolished in preparation for redevelopment of the site.

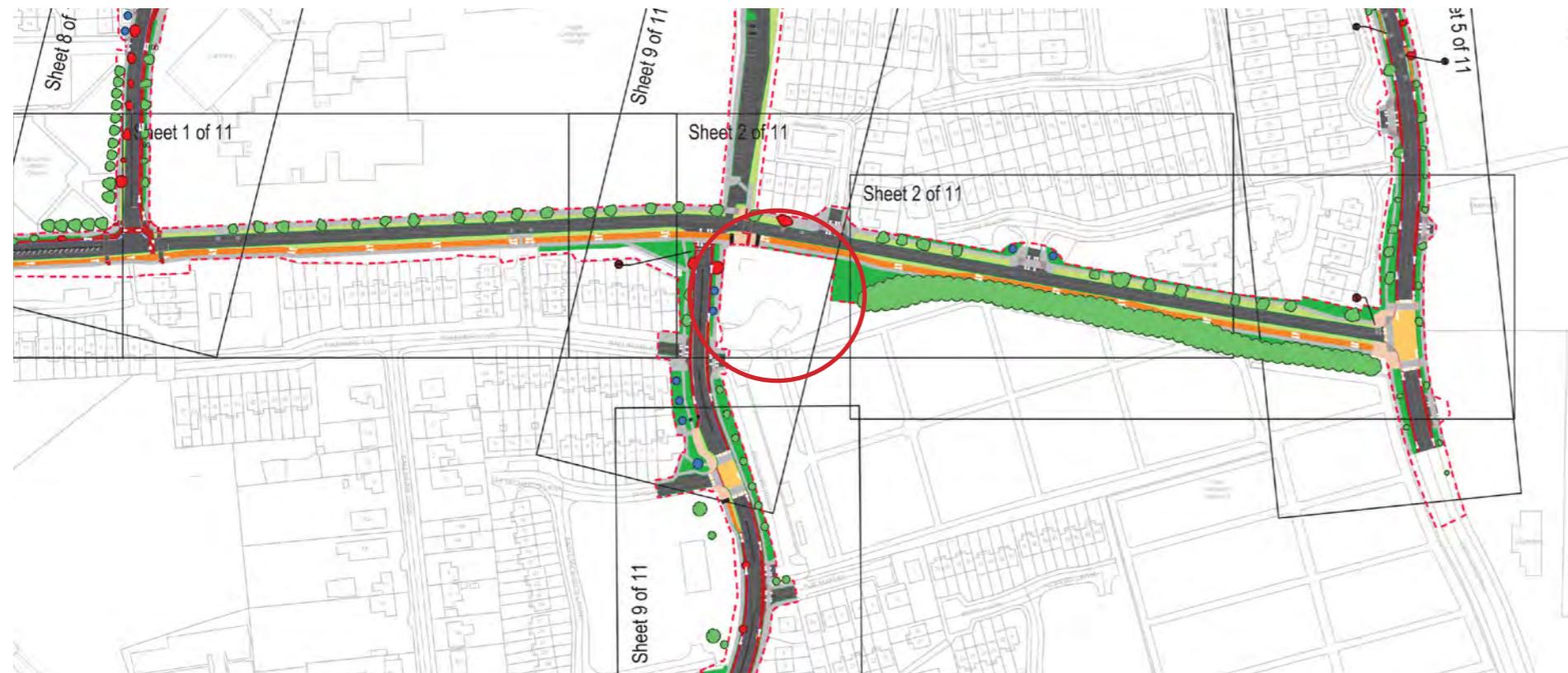


FIG 1 Mahon Cycle Scheme Plan, National Transport Authority extract, not to scale

FIG 2-4 BELOW Figures extracted from Mahon Local Area Plan 2014

Figure 4.8: Skehard Road (East) Sub-Area Objectives

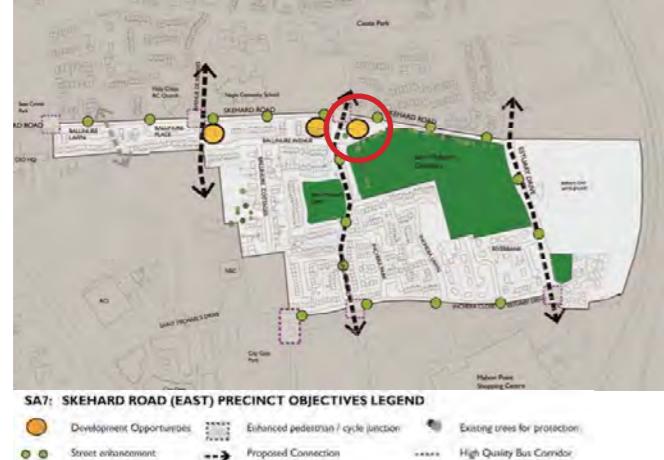


Figure 4.8 : Skehard Road (East) Sub-Area Objectives

Site identified as Development opportunity

Figure 3.8: Mahon Strategic Urban Design Objectives



Figure 3.8 Mahon Strategic Urban Design Objectives

Site identified as Key Corner with objective 'To mark the significance of a number of key corner locations by locating buildings that are designed to address the corner and be viewed from key street aspects'.

Figure 3.10: Mahon Landscape and Open Space Strategy



Figure 3.10 Mahon Landscape and Open Space Strategy

Site identified on Landscape Strategy Route for Street Enhancement with the objective to address the poor tree structure in Mahon.

Figure 3.7: Bus-based transport proposals



Figure 2.7 Bus based transport proposals  
Site identified on high quality PT corridor

## SITE CONTEXT

### LOCATION

Transport Links: The site is approximately 5km and a 14 minute drive to Cork City Centre. Buses no. 215 215A & 202 run nearby.

The site adjoins two routes of the Mahon Cycle Scheme as shown opposite.

Mahon Local Area Plan 2014: The objectives for the site are described in the extracts below:

## SITE CONTEXT

### EXISTING CONDITION

The site was previously occupied by a hostel. This has recently been demolished in preparation for redevelopment of the site.

There is a level difference of 1 to 1.3m between the site entrance on Ballinure Avenue to the South West and the end of the site to the East on Skehard Road.

An existing Gas Main Line runs through the site along the south boundary. This means a 9m wayleave is required either side of it, restricting the footprint for future development. Please refer to Annexe C for further details on the Gas Main.





FIG 1-3 Inside the site



FIG 6 Unobstructed views towards Lough Mahon



FIG 5 No footpath on Northern side



FIG 4 Eastern boundary - Future opportunity?



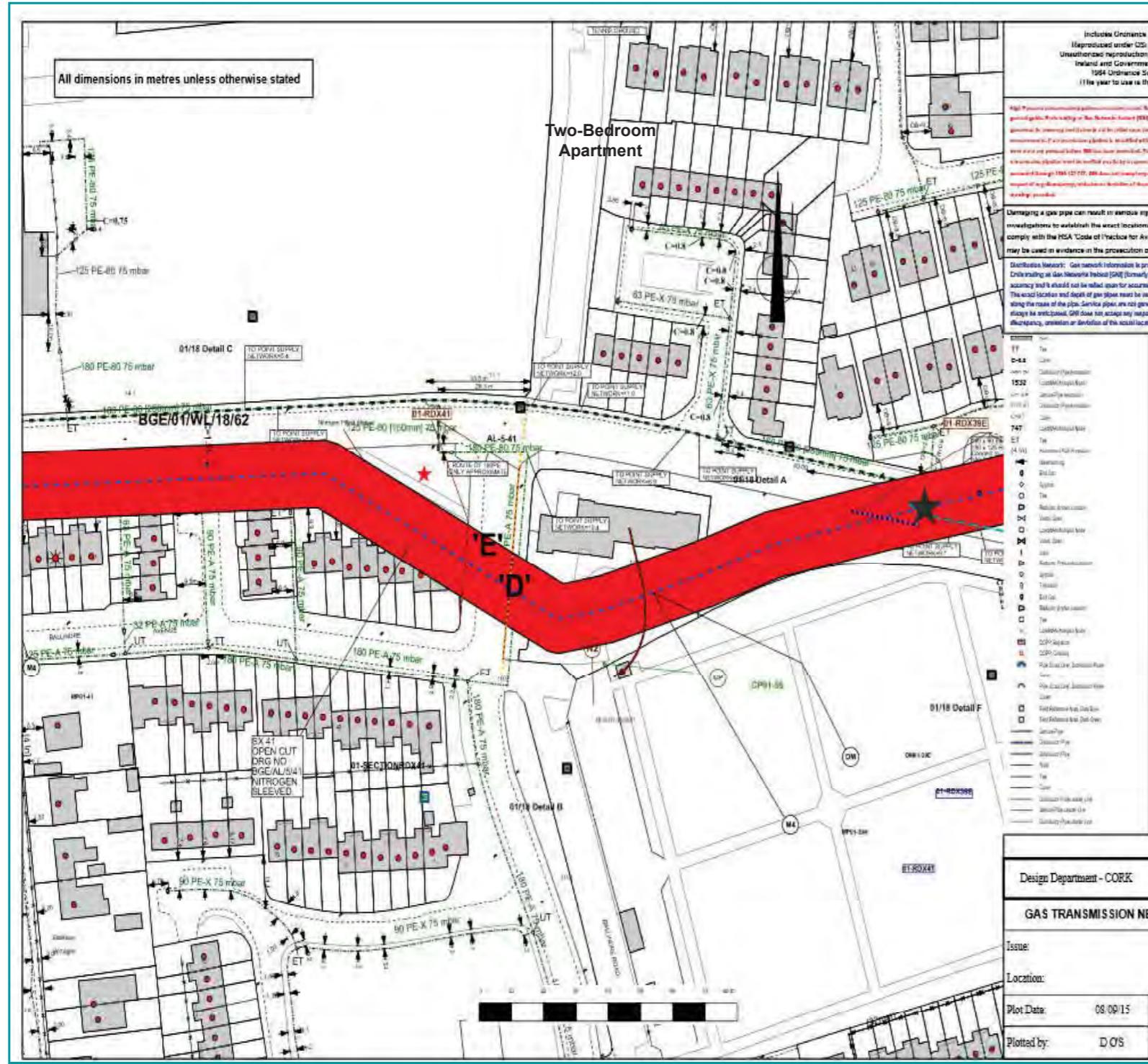
FIG 7 Key corner

## SITE CONTEXT

### EXISTING CONDITION

Existing photos

## SITE CONTEXT



### Opportunities and constraints

#### Cork Harbour SPA

#### Surface water drainage

The employment of SUDS and achievement of conservation objectives for habitat / species are key priorities.

#### Gas Line Crossing Site

indicated in Red on map  
7 metre wayleave on either side of the gas mains, from the centre line of the main [or 3m when in a public road].

#### Residential Density

Social and affordable housing should be provided in accordance with the objectives set out in the current Joint City and County Housing Strategy, as incorporated into the development plan.

Density Medium 40dph - 75dph  
Plot ratio 0.45 - 0.75

Comprising a mix of terraced housing and apartments / duplexes

#### 16.8 Car Parking Standards

The subject site is zoned as 3 Rest of Cork City for parking  
1-2 Bed 1 plus 0.25 spaces for visitor parking  
3 Bed 2.0 plus 0.25 spaces for visitor parking.

The medium-to-long-term strategy is to gradually make car parking standards more restrictive as feasible alternatives are developed and are committed

Bicycle requirements - 1 per unit.

#### Building height

Between 2 and 3 storeys in height. Corner focal buildings at key corners/junctions are identified to give the potential for excellent building features, and the potential for additional floorspace at the corner, to emphasise the significance of locations in the city scape and to make the environment more legible to those experiencing it.

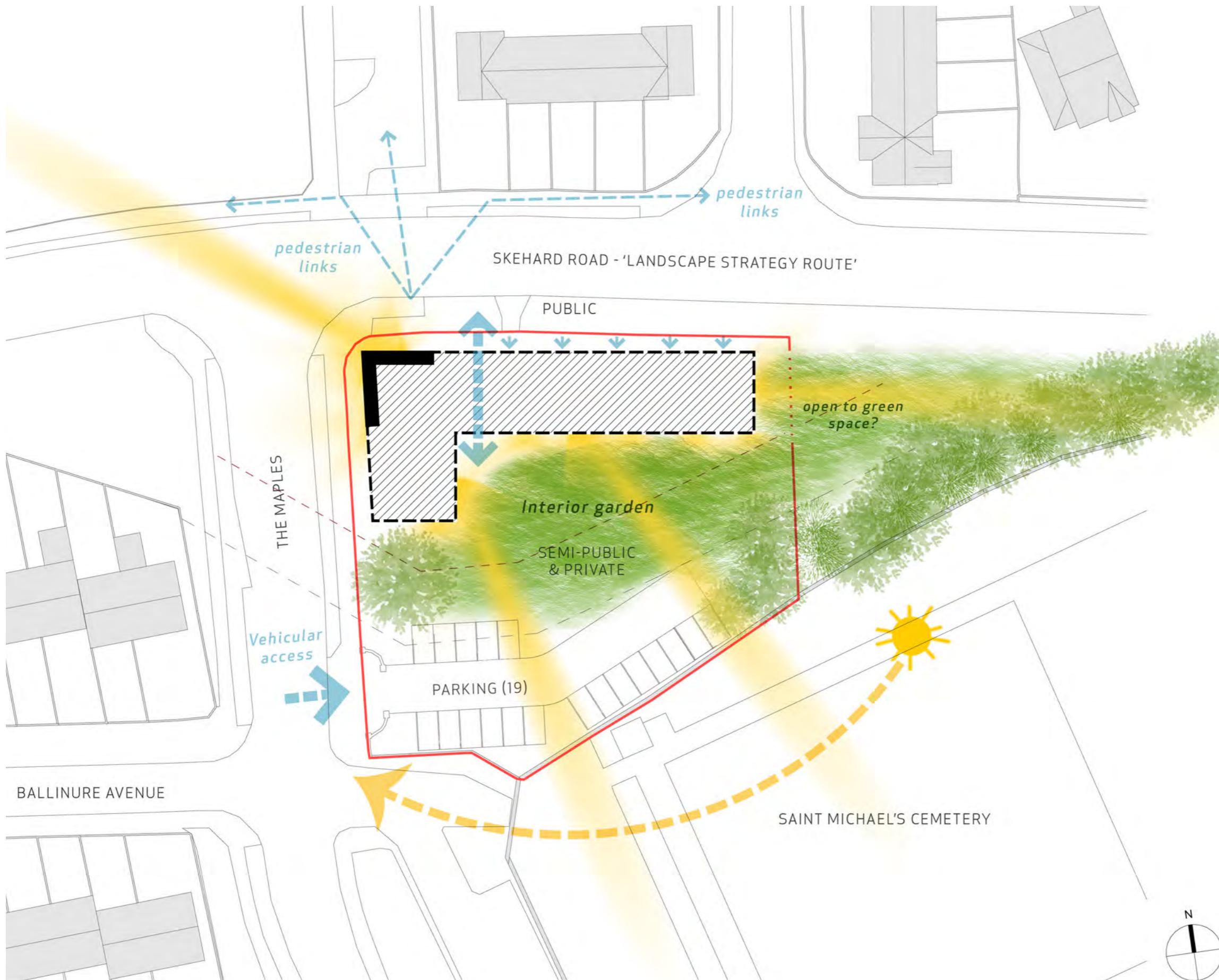
#### Private Open space

1 bed 6m<sup>2</sup>  
2 bed 8 m<sup>2</sup>  
3 bed 12m<sup>2</sup>  
Townhouse 48-60m<sup>2</sup>

#### Public Open space 10%

### ANALYSIS

Cluid Housing have summarized the opportunities and constraints for development on the site on the document opposite.



## DESIGN PROPOSAL

### PRINCIPLES

We can summarize our approach as follow for the design proposal as follow:

- Develop a 'L shape' footprint to make most of the site available.
- Emphasis on the angle.
- Dual aspects to all apartments.
- Activate the 'public' north elevation.
- Connect the building to pedestrian routes to the north and main entrance to the south.
- Create a semi-public interior garden with private open spaces opened to it.
- Extend views to the greater landscape.
- Q: potential for opening up the building to the eastern green?

## DESIGN PROPOSAL



FIG 1 Proposed Site Layout Plan showing future condition, scale 1:500 @ A3

## SUMMARY

Dwelling type	No.	Mix
1 Bed apartment	7	32%
2 Bed Apartment (3 people)	1	4.5%
2 Bed Apartment (4 people)	9	40.9%
2 Bed Townhouse (4 people)	4	18.2%
3 Bed Apartment (5 people)	1	4.5%
<b>TOTAL</b>	<b>22</b>	<b>100%</b>

Site Area (Red Line Boundary)	3977 sqm 0.4 hectares
No. of dwellings	22
Density (No. dwellings / Site Area)	55 units per hectare
Gross Floor Area	2016.7 sqm
Plot Ratio (Gross Floor Area / Site Area)	0.51
Site Coverage (Ground Floor Area / Site Area in %)	17.3%
Public Open Space Area	1498 sqm
Public Open Space Provision (POS Area / Site Area in %)	37.7%
Communal Open Space Area Provided	555 sqm
Communal Open Space Required	114 sqm
Building Heights	2 to 4 storey 14.56m high
Dual Aspects	82%
Vehicular parking	20 parking spaces
Including 5% DAC*	1
Including 1 EV space for every 5 space*	4
Resident Bicycle Parking	18

\*As required in development standards 11.244 and 11.245, of the Cork City Development Plan 2022-2028, Chapter 11.

## DESIGN PROPOSAL



FIG 1 Extract of CCDP 2022-2028 Zoning Map 06



FIG 2 Extract of CCDP 2022-2028 Density and Heights Map 06



FIG 3 Extract of CCDP 2022-2028 Parking Zone Map

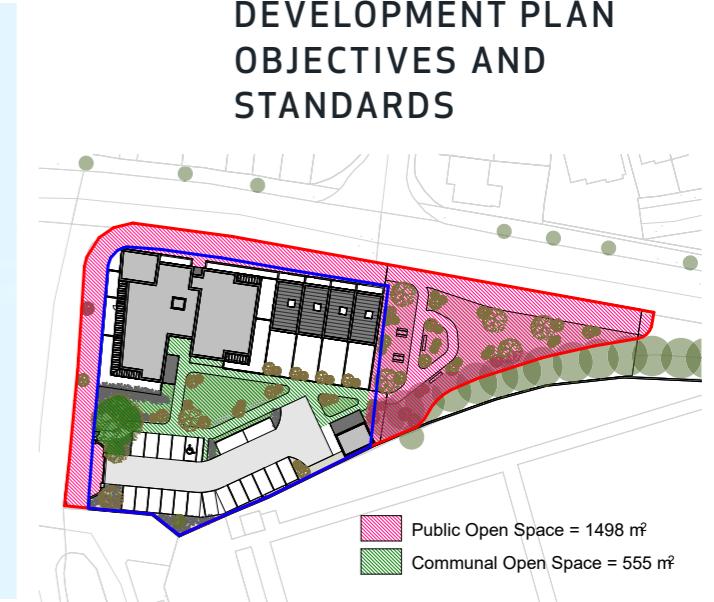


FIG 4 Open Space Areas

It is our opinion that the proposal is in compliance with the objectives and design standards of the Cork City Development Plan 2022-2028.

### ZONING

The site is zoned **Z0 01, Sustainable Residential Neighbourhoods** (light yellow) in the CCDP 2022-2028 (fig 1) with the objectives 'To protect and provide for residential uses and amenities, local services and community, institutional, educational and civic uses.'

Our proposal is for the development of 22 new social housing dwellings with associated residential amenities. In our opinion the proposal is in line with the zoning objective.

### DENSITY AND BUILDING HEIGHT STRATEGY

Mahon is located in the **Primary Urban Corridors and Principal Towns** zone (magenta) in CCDP 2022-2028 (fig 2). Table 11.2 Cork City Density and Building Height Standards of the Development Plan further details the objectives for Mahon with a density target of 50 to 120 dwellings per hectare and 4 to 6 storey for building heights.

We are proposing a density of 55 dwellings per hectare and building heights varying from 2 to 4 storey. In our opinion, the proposal is appropriate in scale and density with the development plan objectives.

### OPEN SPACE

The requirement for Public Open Space is 10%

as per development standard 11.112 of the CCDP 2022-2028. The minimum requirement for Common Open Space is calculated to be 141 sqm as per guidelines from the Sustainable Urban Housing, Design Standards for New Apartments, July 2023.

Our proposal exceeds the requirements for both Public and Common Open Space (fig 4 and schedule of accommodation).

### CAR AND BICYCLE PARKING

The site is located in Zone 3 (brown) of the Parking Zone Map of Cork City Development Plan 2022-2028 (fig 5). As per Table 11.13: Maximum Car Parking Standards of the Development Plan, the maximum parking allowed for the site would

be 28.5 spaces (=1.25 x 21 no. 1-2 bedroom units) + 2.25 x 1 no. 3 bedroom unit).

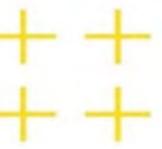
We are proposing 20 parking spaces including one disabled and 4 EV spaces as well as ducting for future charging points. In our opinion, the proposed parking is in line with the Development Plan.

We are providing secured and covered bicycle parking (18) at a ratio of 0.8 per apartment which is greater than the Development Standard of 0.5 per apartment as per Table 11.14: Bicycle Parking Requirements of the CCDP 2022-2028.

# PLUS ARCHITECTURE

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## DESIGN PROPOSAL

### SCHEDULE OF ACCOMMODATION

Project Information	
Job Number/Code	480 / MAH
Name	Clúid Mahon
Address	Skehard Road Site, Mahon Cork
Distribution	
Planning Authority	Cork County Council
Document information	
Document Number	MAH-PLU-ZZ-ZZ-SH-AR-Housing Quality Assessment

Standards Reference	Sustainable Urban Housing, Design Standards for New Apartments, July 2023										
Requirements	Dwelling Type	No. of bed spaces	Minimum GIA (sq.m)	Minimum Aggregate Living Area (sq.m.)	Minimum Bedroom Area 1 (sq.m.)	Minimum Bedroom Area 2 (sq.m.)	Minimum Bedroom Area 3 (sq.m.)	Minimum Aggregate Bedroom Areas (sq.m.)	Minimum Storage (total) sq.m	Minimum Private Open Space (sq.m)	Minimum floor areas for communal amenity
	STUDIO	1	37	30					3	4	4
	1 BED	2	45	23	11.4			11.4	3	5	5
	2 BED	3	63	28	13	7.1		20.1	5	6	6
	2 BED	4	73	30	13	11.4		24.4	6	7	7
	3 BED	5	90	34	13	11.4	7.1	31.5	9	9	9

Unit. No.	Dwelling Size	Dwelling Type	GIA (sq.m)	Aggregate Living Area (sq.m.)	Bedroom Area 1 (sq.m.)	Bedroom Area 2 (sq.m.)	Bedroom Area 3 (sq.m.)	Aggregate Bedroom Areas (sq.m.)	Storage (total) sq.m	Private Open Space (sq.m)	Minimum Public Open Space Required	Aspect	10% + Larger than Apartment Guidelines
00 Ground Floor													
00.01	2 BED 4 PERSON	Apartment	89.8	39.8	13.2	11.4		24.6	6	23.3	7	Dual Aspect	Yes
00.02	3 BED 5 PERSON	Apartment	90.2	34	12	15.5	8.2	35.7	9	38	9	Dual Aspect	No
00.03	2 BED 3 PERSON	Apartment	71.1	28	13	7.2		20.2	5.3	44.8	6	Dual Aspect	Yes
00.04	1 BED 2 PERSON	Apartment	62.8	32.8	14.4			14.4	3.4	16.1	5	Single Aspect	Yes
00.05	2 BED 4 PERSON	Apartment	83.5	33.5	13	12.1		25.1	6.6	10.9	7	Dual Aspect	Yes
00.06	2 BED 4 PERSON	2 Storey House	85.7	31.6	13.7	12		25.7	7.7	45.2	7	Dual Aspect	Yes
00.07	2 BED 4 PERSON	2 Storey House	85.7	31.6	13.7	12		25.7	7.7	43.2	7	Dual Aspect	Yes
00.08	2 BED 4 PERSON	2 Storey House	85.7	31.6	13.7	12		25.7	7.7	43.2	7	Dual Aspect	Yes
00.09	2 BED 4 PERSON	2 Storey House	85.7	31.6	13.7	12		25.7	7.7	45.2	7	Dual Aspect	Yes
01 First Floor													
01.01	2 BED 4 PERSON	Apartment	81.4	32.1	13.2	11.4		24.6	6	7.8	7	Dual Aspect	Yes
01.02	2 BED 4 PERSON	Apartment	82.8	33.8	13.3	12.5		25.8	6.7	8.2	7	Dual Aspect	Yes
01.03	1 BED 2 PERSON	Apartment	53.5	23	12.6			12.6	3	18	5	Dual Aspect	Yes
01.04	1 BED 2 PERSON	Apartment	50.7	23	13.3			13.3	3.5	10.6	5	Single Aspect	Yes
01.05	2 BED 4 PERSON	Apartment	87.7	37.3	14	11.5		25.5	6.8	7.2	7	Dual Aspect	Yes
02 Second Floor													
02.01	2 BED 4 PERSON	Apartment	81.4	32.1	13.2	11.4		24.6	6	7.8	7	Dual Aspect	Yes
02.02	2 BED 4 PERSON	Apartment	82.8	33.8	13.3	12.5		25.8	6.7	8.2	7	Dual Aspect	Yes
02.03	1 BED 2 PERSON	Apartment	53.5	23	12.6			12.6	3	18	5	Dual Aspect	Yes
02.04	1 BED 2 PERSON	Apartment	50.7	23	13.3			13.3	3.5	10.6	5	Single Aspect	Yes
02.05	2 BED 4 PERSON	Apartment	87.7	37.3	14	11.5		25.5	6.8	7.2	7	Dual Aspect	Yes
03 Third Floor													
03.01	1 BED 2 PERSON	Apartment	53.5	23	12.6			12.6	3	18	5	Dual Aspect	Yes
03.02	1 BED 2 PERSON	Apartment	50.7	23	13.3			13.3	3.5	10.6	5	Single Aspect	Yes
03.03	2 BED 4 PERSON	Apartment	87.7	37.3	14	11.5		25.5	6.8	7.2	7	Dual Aspect	Yes
Level		Gross Floor Area (sq.m)	Unit Mix										
00 Ground Floor		686.40	1	1	6	1							
02 First Floor		629.30	2		3								
02 Second Floor		439.80	2		3								
03 Third Floor		261.20	2		1								
TOTAL		2016.70	7 (32%)	1 (4.5%)	13 (59%)	1 (4.5%)							

Key Site Statistics Summary		
Site Area (Red Line Boundary)	3977 sq.m	0.40 ha
No. of dwellings	22 units	
Density (= No. dwellings / Site Area)	55 unit per hectare	
Gross Floor Area	2017 sq.m	
Plot Ratio (= Gross Floor Area / Site Area)	0.51	
Site Coverage (= Ground Floor Area / Site Area in %)	7.3%	
Public Open Space Area	1498 sq.m	
Public Open Space Provision (= POS Area / Site Area)	37.7 %	10% minimum required
Communal Open Space Provided	555.0 sq.m	141 sqm minimum required
Building Heights	2 to 4 storey	
Dual Aspects	82%	
Vehicular parking	20	28.5 maximum allowed
Including DAC	1	
Including EV	4	
Resident Bicycle Parking	18	11 minimum required (0.5 per unit)

## COMPACT SETTLEMENT GUIDELINES CHECKLIST

### 1. SUSTAINABLE AND EFFICIENT MOVEMENT

#### (i) Permeability

*Will the plan or development proposal establish a highly permeable and legible network of streets and spaces within the site that optimises movement for sustainable modes of transport (walking, cycling and public transport)?*

The proposal is designed around the requirements of the site constraints, in particular the large gas main traversing the site.

Currently the existing site is a sealed and private complex, which we are seeking to open up entirely to the wider neighbourhood by providing new access points for pedestrians and cycles.

Car-parking has been provided on the site, however the landscape design prioritises an atmosphere where vehicle use is secondary to the pedestrian through the predominance of shared surfaces and cycle paths.

#### (ii) Connections

*Have opportunities to improve connections with and between established communities been identified and responded to with particular regard to strategic connections between homes, shops, employment opportunities, public transport, local services and amenities?*

The development has been designed to provide all of the required pedestrian, cycle and vehicular connections across the site and into neighbouring development lands. We are proposing to develop the site in such a way as to avoid compromising the ambitions of the upgrades proposed to Skehard Road in terms of bicycle lanes and footpaths etc.

The existing entrance from Ballinure Avenue will be maintained to ensure continuity on the road network. A pedestrian route across the site is to be provided from Skehard Road to Ballinure Avenue.

#### (iii) Inclusivity

*Are streets designed (including the retrofitting of existing streets adjacent to or on-route to the site, where appropriate) in accordance with DMURS to calm traffic and enable the safe and comfortable movement of vulnerable users?*

The approach to landscape design around the entire site in terms of detailing of footpaths and shared surfaces facilitates the movement of people with impaired mobility. The layout and landscape design will fully comply with the requirements of Part M 2022.

Car-parking across the site is limited and on-grade. Appropriate numbers of accessible parking spaces have been provided.

Our design proposal prioritises cycles and pedestrians throughout, and elsewhere shared surfaces create a scheme whereby pedestrians have clear priority and vehicles have to slow down to facilitate this.

#### (iv) Parking

*Has the quantum of parking been minimised (in accordance with SPPR4 where relevant) and designed and located in a way that seeks to reduce the demand for private car use, promote sustainable modes of transport and ensure that the public realm is not dominated by parked vehicles?*

The proposed development consists of 20 parking spaces, all on grade. With 22 dwellings, the parking ratio is 0.9 space per housing unit which is appropriate in the suburban context. This includes 1 disabled parking space and 4 EV spaces along with ducting for future EV charging.

There are approximately 18 bicycle parking spaces provided. All of the bicycle parking is provided on grade easily accessible from the public domain but within secure parking facilities. We have brought the bicycle parking to the 'front of house' to try to engender a culture of bicycle use throughout the development.

## COMPACT SETTLEMENT GUIDELINES CHECKLIST

### 2. MIX OF LAND USES (VIBRANT CENTRES AND COMMUNITIES)

#### (i) Mix of uses

*Is the mix and intensity of land uses appropriate to the site and its location and have land uses been distributed in a complementary manner that optimises access to public transport, amenities and local services via walking or cycling?*

The subject site is adjacent to the existing road network which gives access to significant public transport amenity.

The residential density for the site is proposed to be 55 units per hectare which is within the acceptable standards set out in the new Sustainable and Compact Settlement Guidelines.

#### (ii) Diversity

*Have a diverse and varied range of housing types been provided to meet local and projected needs (having regard to the Housing Need Demand Assessment), supplemented by an innovative range of housing typologies that support greater housing affordability and choice?*

A housing mix has been proposed which we believe is appropriate to the viability and suitability of the project within the receiving environment. The mix consists of 1, 2 and 3 bedroom apartments and 2 bedroom townhouses enjoying own-door access from the public realm.

There is also a significant provision of open space including play spaces for all age groups.

#### (iii) Regeneration

*Will the plan or development proposal supplement and/or support the regeneration and revitalisation of an existing centre or neighbourhood, including the adaption and re-use of the existing building stock in order to reduce vacancy and dereliction (where applicable) and promote town centre living (where applicable)?*

The existing site is a sealed and underused site with minimal biodiversity and no public access. We seek to reverse this by way of a comprehensive and high quality landscape strategy which prioritises pedestrians and native planting. The surface water strategy proposed is compliant with the standards set out in the development plan, seeking to contain all surface water within our own boundary and ensure no further pressure is applied to public infrastructure.

#### (iv) Public Realm

*Is the regeneration and revitalisation of an existing centre or neighbourhood supported by the enhancement of the public realm so as to create a more liveable environment, attract investment and encourage a greater number of visitors (where applicable)?*

A key design concept in all of the public space in our proposal has been the idea of passive surveillance. A significant amount of ground floor and first floor residential spaces provide security through passive surveillance and active frontage. Own-door units in particular provide a comforting sense of oversight to all the public and private spaces adjacent.

## COMPACT SETTLEMENT GUIDELINES CHECKLIST

### (i) Biodiversity

*Has the plan or development proposal positively responded to natural features and landscape character, with particular regard to biodiversity, vistas and landmarks and the setting of protected structures, conservation areas and historic landscapes?*

The proposed development will include a planting strategy based on native and pollinator friendly species. Various mowing regimes will establish a diversity of habitats on the site.

There are no protected structures on the site.

### (ii) Open Space Design

*Have a complementary and interconnected range of open spaces, corridors and planted/ landscaped areas been provided, that create and conserve ecological links and promotes active travel and healthier lifestyles?*

The relatively small scale of the development and the inherent site constraints of the gas network infrastructure means that a single open space on the southern side of the site has been proposed. This open space provides a direct connection across the site from southwest to northeast to link into a small green space on Skehard Road.

The open spaces are directly connected to the existing hedgerows along the boundary with the cemetery and allow us to conserve as much of these natural amenities as possible.

### (iii) Accessibility

*Are public open spaces universally accessible and designed to cater for a range of active and passive recreational uses (taking account of the function of other spaces within the network)?*

The proposed development will contribute to the enhancement of the public space and provide for a new public amenity. These are designed to be inclusive and accessible using best-practice design guidelines as a benchmark for the development.

### (iv) Nature based solutions

*Does the plan or development proposal include integrated nature-based solutions for the management of urban drainage to promote biodiversity, urban greening, improved water quality and flood mitigation??*

A full detailed surface water management plan is included with this planning application.

## COMPACT SETTLEMENT GUIDELINES CHECKLIST

### 4. RESPONSIVE BUILT FORM

#### (i) Legible Urban Structure

*Does the layout, orientation and scale of development support the formation of a coherent and legible urban structure?*

The block layout has been developed as a direct response to the site constraints and urban edge, which in turn seeks to respond to the existing and proposed emerging context. This has been proposed to minimise the adverse impacts on the existing residential dwellings and amenities along Ballinure Avenue and Skehard Road.

We have proposed suitable separation distances between our proposed blocks and neighbouring sites and landscaped boundary treatments are proposed on all sides to ensure a high quality residential amenity and landscape character are provided.

#### (ii) Public/Private

*Do buildings address streets and spaces in a manner that will ensure they clearly define public and private spaces, generate activity, maximise passive surveillance and provide an attractive and animated interface?*

Each apartment meets and, in many cases exceeds the requirement for private open space and storage space as envisioned in the Design Standard for New Apartments - Guidelines for Planning Authorities. There is also a high proportion of dual aspect apartments throughout the scheme, with 82% of apartments double or triple aspect.

Adequate space between buildings is provided to avoid over-looking between apartments. The ground floor apartments are appropriately screened by layers of landscaping to provide privacy without physical barriers. Mediating between people's desire for privacy and the creation of active frontages which animate the street and make the public spaces feel safe.

The scheme provides a variety of room types for each elevation to ensure that all sides of the building provide a good level of passive natural surveillance.

#### (iii) Context

*Does the layout, scale and design features of new development respond to prevailing development patterns (where relevant), integrate well within its context and provide appropriate transitions with adjacent buildings and established communities so as to safeguard their amenities to a reasonable extent?*

The immediate vicinity of the subject site is predominantly residential however there are some strategically relevant uses such as the Shopping Centre approximately 1.6 km south of the site. The large cemetery along the southern boundary does not provide any relevant context to which we can respond.

In all previous discussions with the council it has been our agreed strategy to provide a strong architectural statement and sense of visual identity / address at the prominent corner of our site. As such our proposal is seeking to create a context for the area where most residential developments have turned their back on the urban environment creating a sense of alienating streets with little passive surveillance.

#### (iv) Identity

*Has a coherent architectural and urban design strategy been presented that will ensure the development is sustainable, distinctive, complements the urban structure and promotes a strong sense of identity?*

The overall development has been designed to create a strong sense of visual identity for this key site within the masterplan. The initial approach to the site from the west creates a strong sense of place through the provision of a local landmark building. The taller element of our proposal seeks to mark this corner within what is an otherwise loose urban grain in the immediate context.

The high quality network of pedestrian links throughout the site further engenders a sense of placemaking.

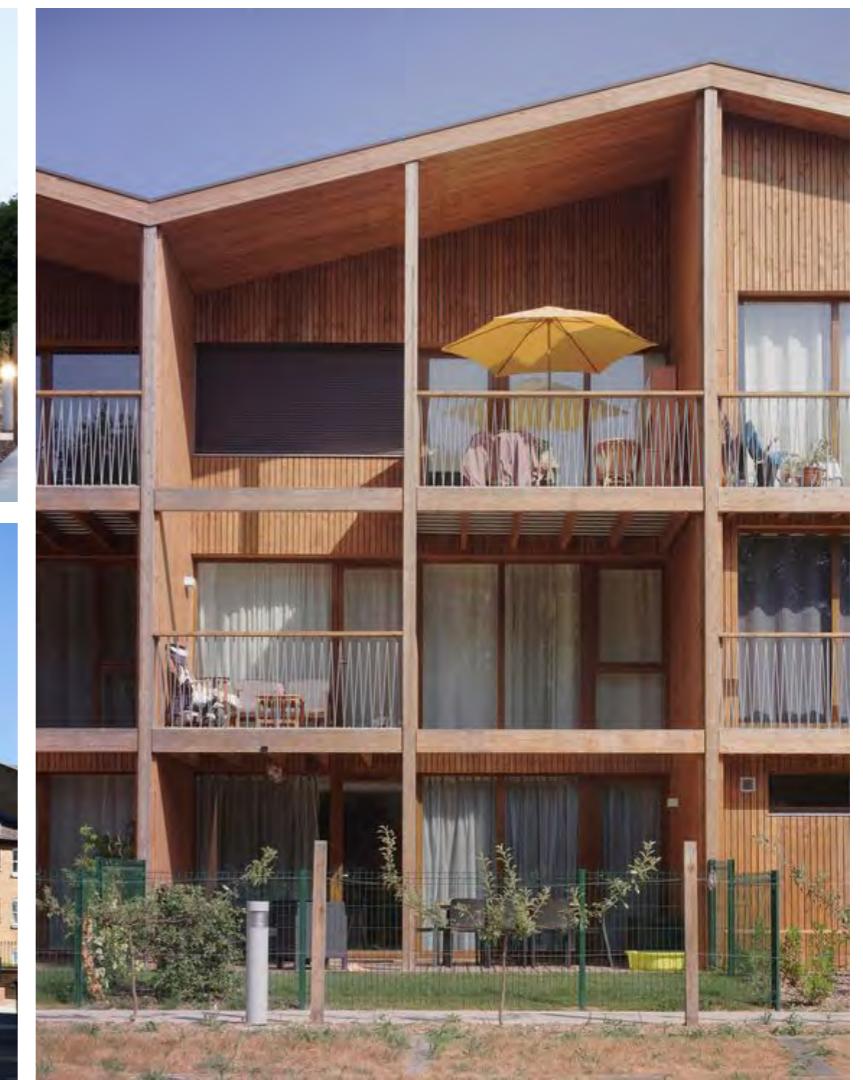
Particular care has been taken with the specification of materials and detailing in the street level such as entrances, terraces and public spaces. The proposed scheme will be predominantly brick-based which will be varied in finish to avoid monotony, ensure long-term durability and provide a consistent identity while avoiding unnecessary architectural embellishment.



## PRECEDENTS

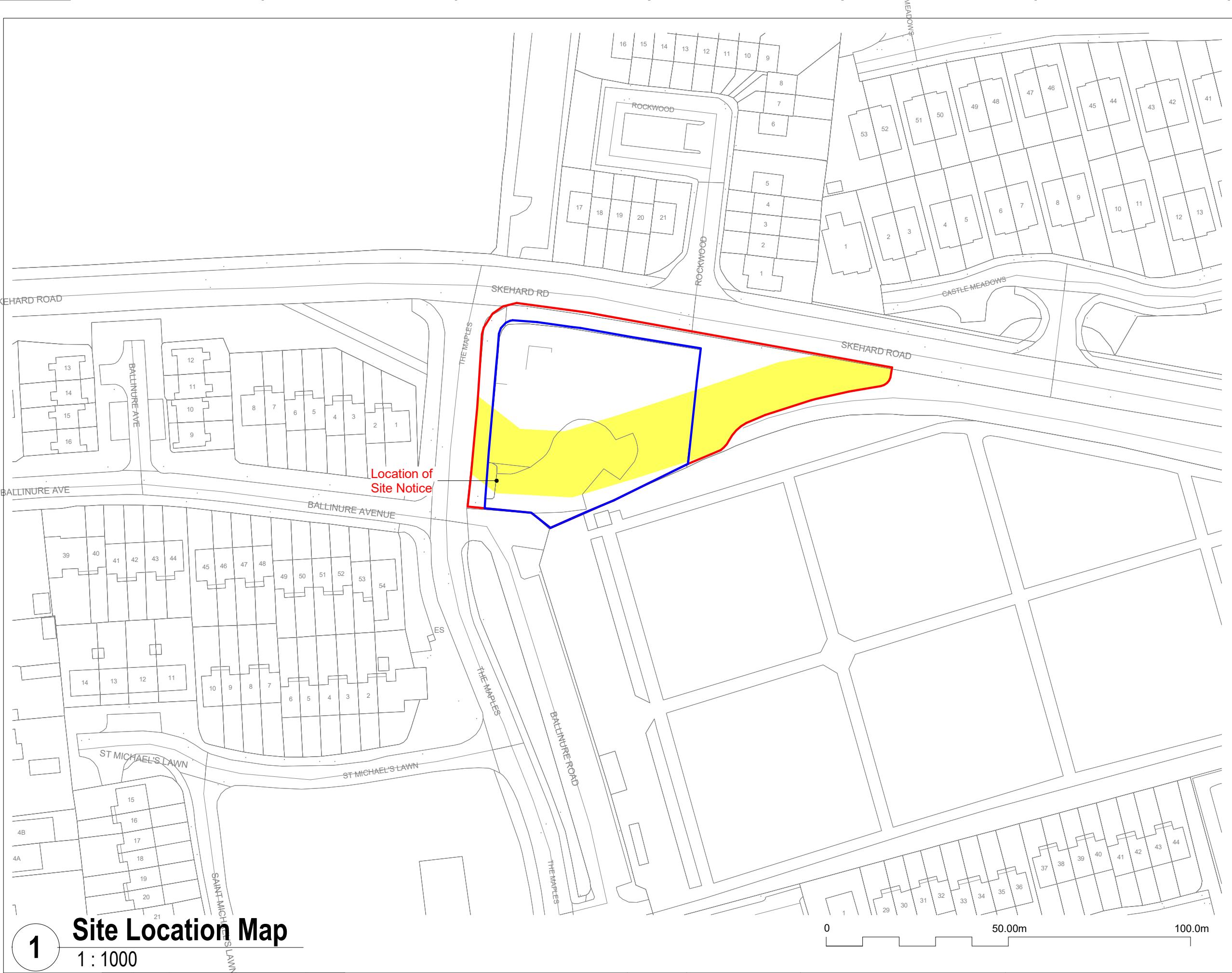
Sculptural roof shape with a domestic language to aid in place-making and sense of identity.

## PRECEDENTS



Emphasis on the angle with a taller element.  
Origami roof shape with a domestic language.

**ANNEXE A**  
DRAWINGS



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Gach cead ar cosnamh. Ní ceadmhach aon chuid den fhoilseachán seo a chóipeáil, a atáirgeadh nó a tharchur in aon fhoirm ná ar aon bhealach gan cead i scríbhinn roimh ré ó úinéirí an chóipchirt.

Ní hionann bóthar, bealach nó cosán a bheith ar an léarscáil seo agus fianaise ar chead slí.

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Chancery Lane, Dublin 8, D08 C98X, Ireland.  
www.plusarchitecture.ie  
T: 353 (0) 1 521 3378

Client:  
Cluid Housing

Project:  
Clúid Mahon

Title:  
Site Location Map

Drawing No.:  
MAH-PLA-ZZ-ZZ-DR-AR-01001

Code: MAH 480 Proj No: AB/GW Drawn/Checked By: Scale As indicated Size A3L

Issue Type: Planning

Status: A0 Rev. No.: P00 Date: 15/04/2025



# Proposed Site Layout Plan

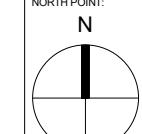
1 : 500

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LEGO

- Site Boundary Line
- Land Ownership Boundary

## Existing



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Chancery Lane, Dublin 8, D08 C98X, Ireland

Project:

Title:

## Proposed Site Layout Plan

Code: Prjt No: Drawn/Checked Scale Size  
MAH 480 AB/ GW 1 : 500 A3L

Issue Type:

## Planning

Status: **A-2** Rev. No.: **B00** Date: **15/04/2025**



1

## Existing Site Layout Plan

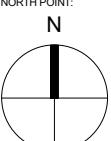
1 : 500

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REV.	DATE:	DETAILS:	INITIALS:	NOTES:
P00	15/04/2025	Issued for Planning		

### LEGEND

- Site Boundary Line
- Land Ownership Boundary
- Existing tree
- Denotes removal/demolition



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www.plusarchitecture.ie  
T: 353 (0) 1 521 3378

Project: Clúid Mahon

Title: Existing Site Layout Plan

Client: Cluid Housing

Code: MAH 480 Drawn/Checked By: AM/ GW Scale 1 : 500 Size A3L

Issue Type: Planning

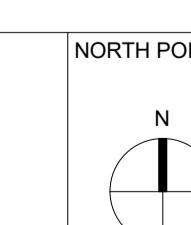
Status: A0 Rev. No.: P00 Date: 15/04/2025



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P00	15/04/2025	Issued for Planning	

NOTES:

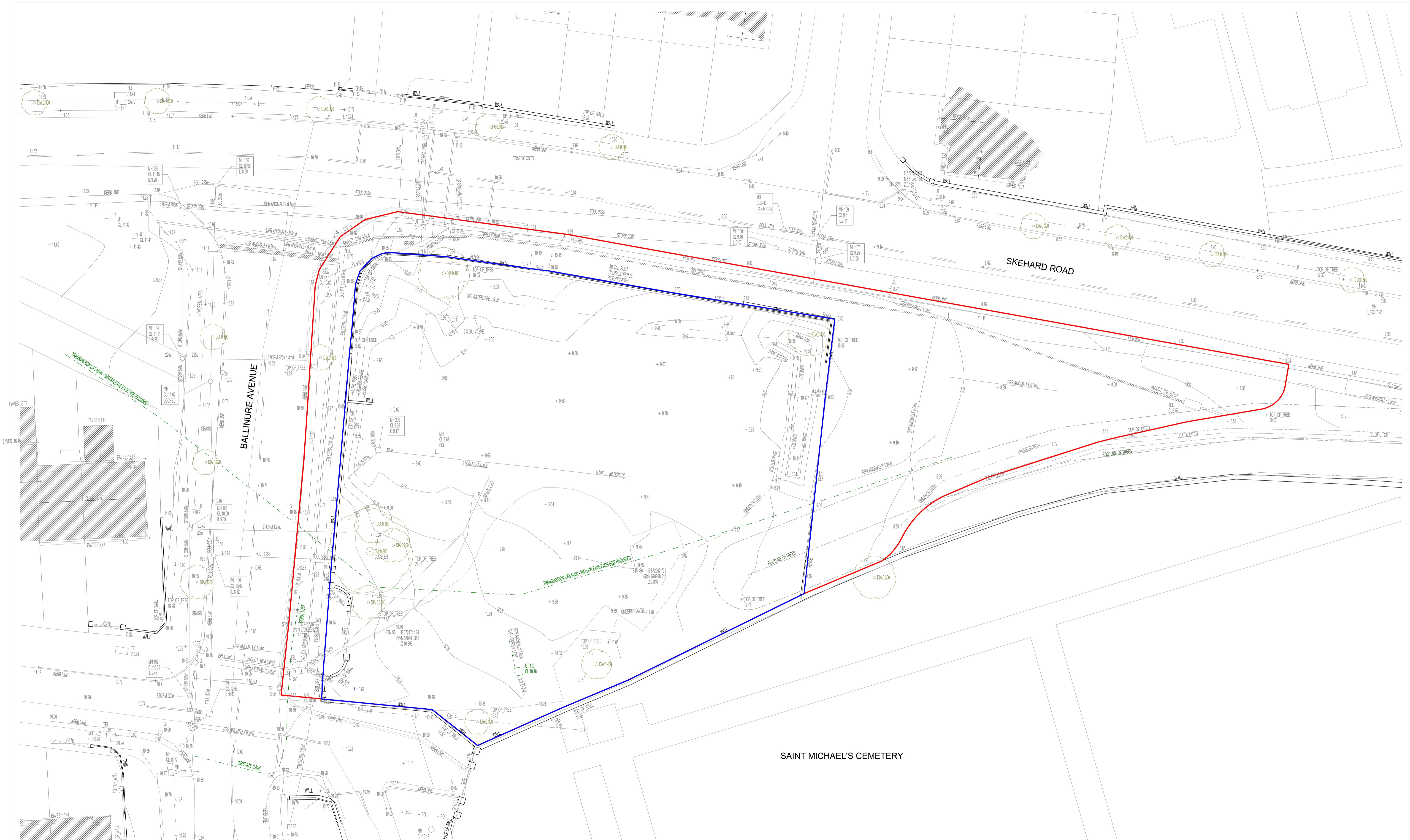


KEY PLAN:

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++  
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Chancery Lane, Dublin 8, D08 C98X, Ireland.  
www.plusarchitecture.ie T: 353 (0) 1 521 3378  
Client: Cluid Housing

Code: MAH 480 AB/ GW  
Proj No: Drawn/Checked By:  
Scale 1: 500  
Size A1L  
Issue Type: Planning  
Status: A0 Rev. No.: P00 Date: 15/04/2025

Project: Cluid Mahon  
Title: Site Plan Layout\_Proposed Future Condition  
Drawing No.: MAH-PLA-ZZ-ZZ-DR-AR-01004



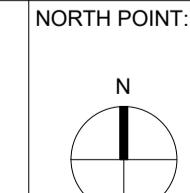
## 1 Existing Site Survey

1 : 200

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

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NOTES:  
— Site Boundary Line  
— Land Ownership Boundary



KEY PLAN:

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 www.plusarchitecture.ie  
 T: 353 (0) 1 521 3378

Code: MAH  
 Proj No: 480 AM/ GW  
 Drawn/Checked By:  
 Date: 1 : 200  
 Size: A1L  
 Issue Type: Planning  
 Client: Cluid Housing

Project: Cluid Mahon  
 Title: Existing Site Survey  
 Drawing No.: MAH-PLA-ZZ-ZZ-DR-AR-01005  
 Status: A0  
 Rev. No.: P00  
 Date: 15/04/2025



	1 Bed	2 Bed	2 Bed (3p)	3 Bed	TOTAL
Ground Floor	1	6	1	1	9
First Floor	2	3			5
Second Floor	2	3			5
Third Floor	2	1			3
<b>TOTAL</b>	<b>7</b> (32%)	<b>13</b> (59%)	<b>1</b> (4.5%)	<b>1</b> (4.5%)	<b>22</b>

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<b>LEGEND</b>	
	Site Boundary Line
	Land Ownership Boundary



NORTH P

PLUS ARCHITECTURE  
Glasvezelstraat 10, 1011 GZ Amsterdam

Chancery Lane, Dublin 8, D08 C98X, Ireland.  
[www.plusarchitecture.ie](http://www.plusarchitecture.ie) T: 353 (0) 1 521

Client:  
**Cluid Housing**

# Project: **Clúid Mahon**

## Ground Floor Plan

Drawing No.: **MAH-PLA-ZZ-00-DR**

MAH-PLA-ZZ-00-DR-AR-02001



	1 Bed	2 Bed	2 Bed (3p)	3 Bed	TOTAL
Ground Floor	1	6	1	1	9
First Floor	2	3			5
Second Floor	2	3			5
Third Floor	2	1			3
<b>TOTAL</b>	<b>7</b> (32%)	<b>13</b> (59%)	<b>1</b> (4.5%)	<b>1</b> (4.5%)	<b>22</b>

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INITIALS:	NOTES:

**LEGEND**

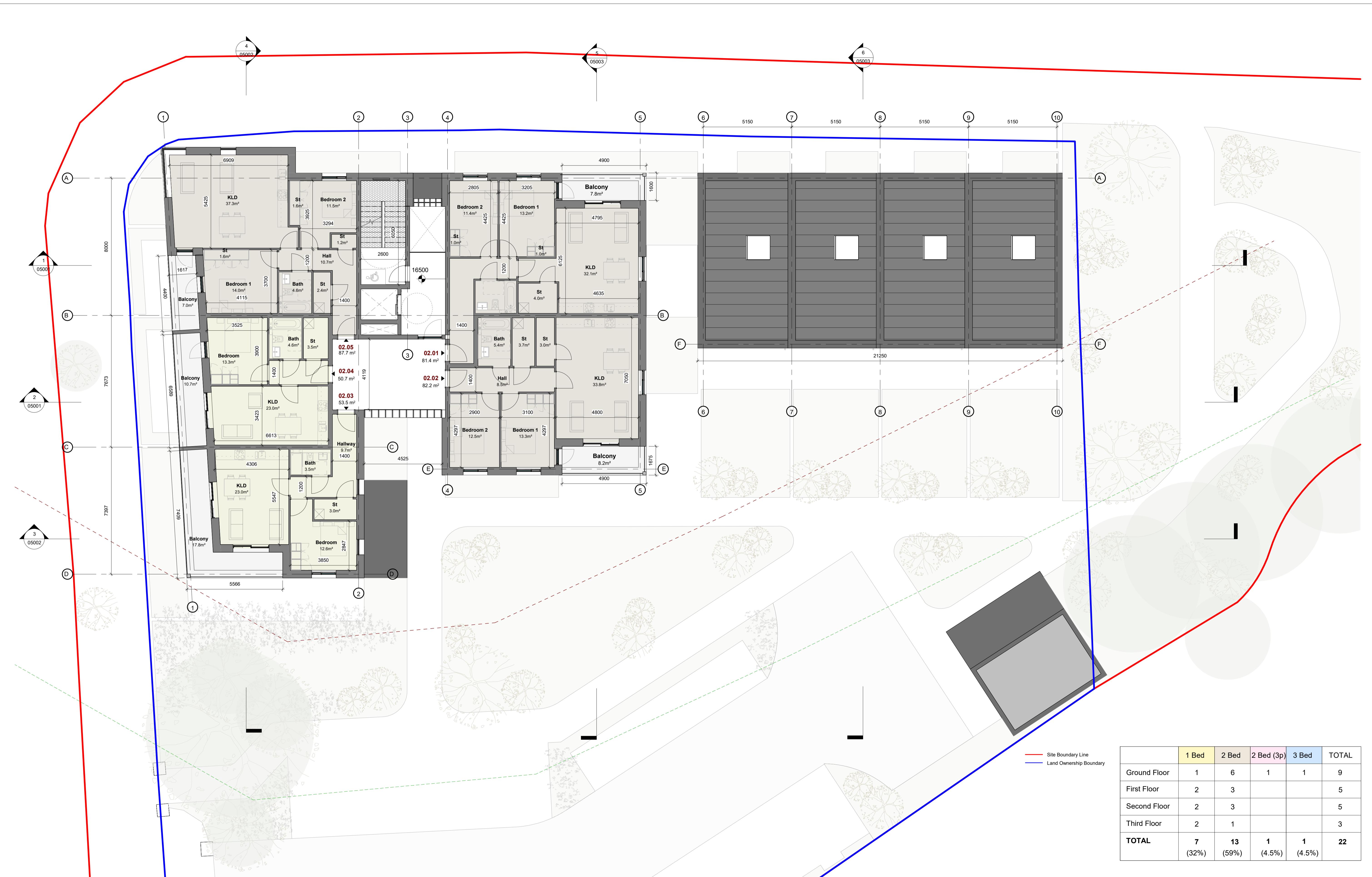
 Site Boundary Line  
 Land Ownership Bound

## Existing tree

### NORTH POINT:

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**PLUS**ARCHITECTURE

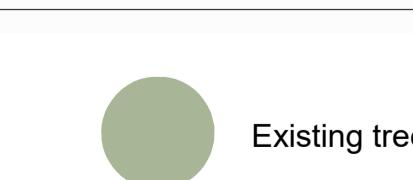
Code: MAH	Prjct No: 480	Drawn/Checked By: AB/ GW	Scale: 1 : 100	Size: A1L	Project: Clúid Mahon
Issue Type: Planning					Title: First Floor Plan
Status: A0	Rev. No.: P00	Date: 15/04/2025		Drawing No.: MAH-PLA-ZZ-01-DR-AR-02002	



REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

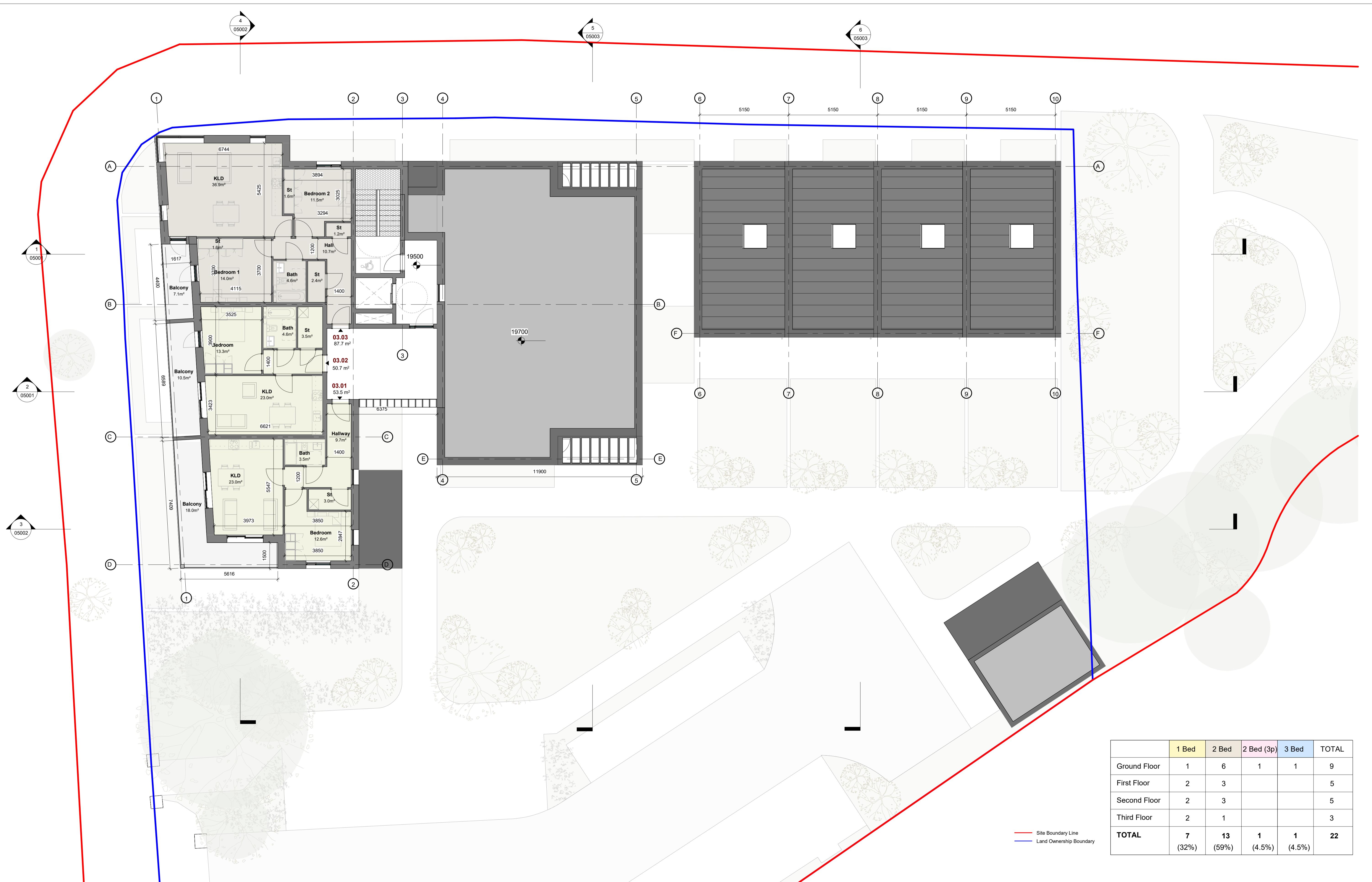
**LEGEND**

- Site Boundary Line (Red line)
- Land Ownership Boundary (Blue line)



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www.plusarchitecture.ie T: 353 (0) 1 521 3378

Client: Clúid Housing Status: A0 Rev. No.: P00 Date: 15/04/2025 Drawing No.: MAH-PLA-ZZ-02-DR-AR-02003



	1 Bed	2 Bed	2 Bed (3p)	3 Bed	TOTAL
Ground Floor	1	6	1	1	9
First Floor	2	3			5
Second Floor	2	3			5
Third Floor	2	1			3
<b>TOTAL</b>	<b>7</b> (32%)	<b>13</b> (59%)	<b>1</b> (4.5%)	<b>1</b> (4.5%)	<b>22</b>

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**NORTH POINT:** 

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Figure 1. The relationship between the number of species and the number of individuals in the community.

Client:

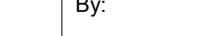
Project:	Clúid Mahon
Title:	Third Floor Plan
Drawing No.:	MAH-PLA-ZZ-03-DR-AR-02004





# 00 Taking in charge drawing

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REV.	DATE:	DETAILS:	INITIALS:	NOTES:	NORTH POINT:	KEY PLAN:	++ ++ MAH	Code: 4-80	Pjct N: AB/GW	Drawn/Checked by: Associated	Scale: A1	Project: Clúid Mháin
00	15/04/2025	Issued for Planning					Issue Type: Planning	Title: Taking in charge				
							Client: Clúid Housing	Status: A0	Rev. No: P00	Date: 15/04/2025	Drawing No: MAH-PLA-ZZ-00-DR-AR-0230	
PLUS ARCHITECTURE Chancery Lane, Dublin 8, D08 C98X, Ireland. www.plusarchitecture.ie T: 353 (0) 1 521 378												



**2** **SOUTH ELEVATION** 1 : 100



3 EAST ELEVATION

1 : 100



4 EAST ELEVATION BLOCK A

1 : 100



5 WEST ELEVATION

1 : 100

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REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:
1 Pale red brick. Ibstock Old English Birtley Buff
2 Full height clear glazed window with feature operable solid spandrel panels in aluminium. Frames and aluminium panels to be dark grey.
3 Curtain wall glazing
4 Opaque glazed balustrades
5 Aluminium parapet. Dark grey. Dark grey steel railings to match colour of window frames.
6 Feature brick panel
7 Lift overrun
8 Dark grey galvanised mild steel.
9 Opaque glazed window
10 Sheet metal roof
11

NORTH POINT: KEY PLAN:

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Code: MAH 480 Proj No: AB/ GW Drawn/Checked By: 1 : 100 Scale: A1L Date: 15/04/2025

Project: Clúid Mahon  
Title: East & West Elevation  
Drawing No.: MAH-PLA-ZZ-ZZ-DR-AR-04002

Issue Type: Planning

Client: Clúid Housing Status: A0 Rev. No.: P00 Date: 15/04/2025

24.766 m  
06 Top Roof Level

23.100 m  
05 Parapet Level  
04 Roof

19.500 m  
03 Third Floor

16.500 m  
02 Second Floor

13.500 m  
01 First Floor

10.200 m  
00 Ground Floor Block A

24768

23100

20100

17131

17004

16904

16804

17.100 m  
Parapet Block B

15.500 m  
Roof Block B

12.500 m  
First Floor Block B

9.500 m  
Ground Floor Block B

1 Section A

1 : 100

24.766 m  
06 Top Roof Level

23.100 m  
05 Parapet Level

22.700 m  
04 Roof

19.500 m  
03 Third Floor

16.500 m  
02 Second Floor

13.500 m  
01 First Floor

10.200 m  
00 Ground Floor Block A

24768

23800

20100

17131

17004

16904

16804

17.100 m  
Parapet Block B

15.500 m  
Roof Block B

12.500 m  
First Floor Block B

9.500 m  
Ground Floor Block B

2 Section B

1 : 100

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REV. DATE: DETAILS: INITIALS:

P00 15/04/2025 Issued for Planning

NOTES:

LEGEND

- Site Boundary Line
- Land Ownership Boundary
- Denotes line of existing ground

NORTH POINT:

KEY PLAN:

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Code:

MAH

480

AB/ GW

1 : 100

A1L

Issue Type:

Planning

Client:

Cluid Housing

Status:

A0

Rev. No.:

P00

Date:

15/04/2025

Drawing No.:

MAH-PLA-ZZ-ZZ-DR-AR-05001

24.766 m  
06 Top Roof Level  
23.100 m  
05 Parapet Level  
22.700 m  
04 Roof

19.500 m  
03 Third Floor

16.500 m  
02 Second Floor

13.500 m  
01 First Floor

10.200 m  
00 Ground Floor Block A



3 Section C  
1:100

24.766 m  
06 Top Roof Level  
23.100 m  
05 Parapet Level  
22.700 m  
04 Roof

19.500 m  
03 Third Floor

16.500 m  
02 Second Floor

13.500 m  
01 First Floor

10.200 m  
00 Ground Floor Block A



4 Section D  
1:100

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REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

**LEGEND**  
— Site Boundary Line  
— Land Ownership Boundary  
— Denotes line of existing ground

NORTH POINT:

KEY PLAN:

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Code:

Proj No:

Drawn/Checked

By:

Scale

Size

Project:

Clúid Mahon  
Section C & D

Issue Type:

Planning

Status:

Rev. No.:

Date:

Drawing No.:

A0 P00 15/04/2025 MAH-PLA-ZZ-ZZ-DR-AR-05002



5 Section E  
1:100



6 Section F  
1:100

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REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

**LEGEND**  
— Site Boundary Line  
— Land Ownership Boundary  
— Denotes line of existing ground

NORTH POINT:

KEY PLAN:

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T: 353 (0) 1 521 3378

Code:

MAH

480

AB/GW

1:100

A1L

Issue Type:

Planning

Client:

Clúid Housing

Status:

A0

Rev. No.:

P00

Date:

15/04/2025

Project: Clúid Mahon  
Title: Section E & F

Drawing No.: MAH-PLA-ZZ-ZZ-DR-AR-05003



1 Site Section 1  
1:250



2 Site Section 2  
1:250

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Site Boundary Line	Land Ownership Boundary						Issue Type: Planning	Title: Site Section Drawing No.: MAH-PLA-ZZ-ZZ-DR-AR-05004

**ANNEXE B**  
3D IMPRESSIONS











## ANNEXE C

Correspondance with Gas Network  
Ireland

**From:** DIG <[Dig@gasnetsworks.ie](mailto:Dig@gasnetsworks.ie)>  
**Sent:** Wednesday 30 April 2025 11:43  
**To:** Donal Commane <[DCommane@enx.ie](mailto:DCommane@enx.ie)>  
**Cc:** Process Safety <[ProcessSafety@gasnetsworks.ie](mailto:ProcessSafety@gasnetsworks.ie)>; Brendan Creedon | IPEC <[brendan@ipec.ie](mailto:brendan@ipec.ie)>  
**Subject:** FW: DBYD\_Tx\_25891\_29042025144643

\*\*\* [CONFIDENTIAL] \*\*\*

Donal,

You recently downloaded a GNI Drawing as attached. The Gas Transmission Pipeline in the general area of interest to you is shown, in **RED**, on such. Please treat all Gas Networks Ireland Drawings as 'indicative' only.

The Gas Distribution Network in the vicinity is shown, in **GREEN** and/or in **BLUE** on the drawing attached. Please refer to the previously received Safety Advice Booklet for guidance on working in the vicinity of this infrastructure.

Please forward details of any proposed works to [Dig@gasnetsworks.ie](mailto:Dig@gasnetsworks.ie) to enable us determine the impact such might have on the GNI Networks.

To verify the in situ position of the Gas Transmission Pipeline please contact Brendan Creedon, [brendan@ipec.ie](mailto:brendan@ipec.ie). All work in the vicinity of a Gas Transmission Pipeline must be completed in compliance with the previously received 'Code of Practice 2021'.

The Gas Transmission Pipelines exist within Gas Networks Ireland Wayleaves. No excavation may take place within any such Wayleave unless consent, in the form of a valid Excavation Permit, has been granted by Gas Networks Ireland. Brendan Creedon will issue this permit once all conditions for excavations have been met.

Regards,  
Georgina

**From:** No Reply <[NoReply@notify.gasnetsworks.ie](mailto:NoReply@notify.gasnetsworks.ie)>  
**Sent:** Tuesday 29 April 2025 15:47  
**To:** [dcommame@morleywalsh.com](mailto:dcommame@morleywalsh.com)  
**Subject:** DBYD\_Tx\_25891\_29042025144643

**CAUTION:** This email originated from outside of your organisation. Do not click links or open attachments unless you recognise the sender and are sure that the content is safe.

Thank you for your enquiry on the Gas Networks Ireland [Online Dial Before You Dig](#) service, please find the attached network map for your area of interest.

Gas Networks Ireland has [Transmission & Distribution Gas Network](#) within your area of interest.

Before you start work, you must have a current gas network map (or maps) for the work location. A current gas network map (or maps) must always be kept on site while work is under way.

## Reading your Map

- High pressure transmission gas pipe is shown **Red**.
- Medium pressure distribution gas pipe is shown **Blue**.
- Low Pressure distribution gas pipe is shown **Green**.
- Strategic distribution gas pipe is highlighted with a buffer.

The gas network map is indicative only. You must conform to the safety and legal notices printed on the map. For further information on reading this map refer to the [Safety Information](#) below.

## Breaking Ground

### *Transmission Network*

- **Supervision by Gas Networks Ireland is required when working in the vicinity of Transmission gas pipes.**
- **If your intended excavation is within 10 m of the Transmission Network, work must not proceed until Gas Networks Ireland has been consulted on 1800 42 77 47. If in doubt, contact Gas Networks Ireland.**
- **Gas Networks Ireland will advise you on the safety measures required and will arrange for the exact location of the pipe to be marked out on site.**

- **No excavation may take place within the wayleave of a transmission pipeline without a valid permit issued by Gas Networks Ireland.**
- **All work in the vicinity of a gas transmission pipeline must be carried out in compliance with:**
  - **Gas Networks Ireland, *Code of Practice for Working in the Vicinity of Transmission Network*.**
  - **Health and Safety Authority, *Code of Practice for Avoiding Danger from Underground Services*.**

### **Distribution Network**

- Supervision by Gas Networks Ireland is not required when working in the vicinity of Distribution gas pipes, unless highlighted as a Strategic Distribution asset. Safe digging practices must be followed. All work in the vicinity of a gas distribution network must be carried out in compliance with:
  - **Health and Safety Authority, *Code of Practice for Avoiding Danger from Underground Services*.**

### **Aurora Telecom**

- Part of the Aurora Telecom Network may be present on your network map. For further information, Aurora can be contacted on 01 892 6166 (Office Hours) or [auroralink@gasnetworks.ie](mailto:auroralink@gasnetworks.ie).

### **Service Pipes**

- Service pipes feeding individual properties are not generally shown but their presence should always be anticipated. For further information on domestic gas services refer to the Safety Information.

### **Safety Information**

- Before starting work any work in the vicinity of the gas network, please refer to the Gas Networks Ireland safety booklet, Safety advice for working in the vicinity of natural gas pipelines, available at <https://www.gasnetworks.ie/home/safety/dial-before-you-dig/>

This booklet contains important safety information, including advice on how to read the gas network maps you have requested.

### **Map enquiry details**

- Full Name: Donal Commane
- Phone Number: 0879676805
- Email: [dcommane@morleywalsh.com](mailto:dcommane@morleywalsh.com)
- Reference ID: 25891\_29042025144643
- Custom Reference: test

If you did not request this map, please contact Customer Service on 1800 42 77 47.

T 1800 20 50 50 (Emergency)

T 1800 42 77 47 (Dial Before You Dig enquiries)

E [dig@gasnetworks.ie](mailto:dig@gasnetworks.ie)

Gas Networks Ireland Networks Services Centre, St. Margaret's Road, Finglas, D11 Y895 [gasnetworks.ie](http://gasnetworks.ie) | Find us on [Twitter](#)



### **Useful Publications**

- Health and Safety Authority, Code of Practice for Avoiding Danger from Underground Services
- Health and Safety Authority, Guide to Safety in Excavations

Both are available free of charge from: Health and Safety Authority on 0818 289 389 [www.hsa.ie](http://www.hsa.ie)

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Tá an fhaisnéis á seachadadh thíre ar an duine nó ar an eintiteas chuig a bhfuil sí seolta amháin agus féadfar ábhar faoi rún, faoi phribhléid nó ábhar atá iogair ó thaobh tráchtála de a bheith mar chuid de. Tá aon athsreachadadh nó scaipeadh den fhaisnéis, aon athbhreithniú ar nó aon úsáid eile a bhaint as, nó aon ghníomh a dhéantar ag brath ar an bhfaisnéis seo ag daoine nó ag eintitis nach dóibh siúd an fhaisnéis seo, toirimiscthe agus féadfar é a bheith neamhdhleathach. Níl Líonraí Gáis Éireann faoi dhíleánas maidir le seachadadh iomlán agus ceart na fairséise sa chumarsáid seo nó maidir le haon mhoill a bhaineann léi. Níl ghlacann Líonraí Gáis Éireann le haon dlíteáns faoi ghnímh nó faoi iarmhairtí bunaithe ar úsáid thoirmiscthe na fairséise seo. Níl Líonraí Gáis Éireann faoi dhíleáns maidir le seachadadh ceart agus iomlán na fairséise sa chumarsáid seo nó maidir le haon mhoill a bhaineann léi. Má fuair tú an teachtaireacht seo in earráid, más é do thoil é, déan teagmháil leis an seoltóir agus scrios an t-ábhar ó gach aon ríomhaire.

Féadfar ríomhphost a bheith soghabhálach i leith truaillithe, idircheaptha agus i leith leasaithe neamhúdaraithe. Ní ghlacann Líonraí Gáis Éireann le haon fhreagracht as athruithe nó as idircheapadh a rinneadh ar an ríomhphost seo i ndiaidh é a sheoladh nó as aon dochar do chórais na bhfaigheoirí déanta ag an teachtaireacht seo nó ag a ceangaltáin. Más é do thoil é, tabhair faoi deara chomh maith go bhféadfar monatóireacht a dhéanamh ar theachtaireachtaí chuig nó ó Líonraí Gáis Éireann chun comhlíonadh le polasaithe agus le caighdeán Líonraí Gáis Éireann a chinntí agus chun ár ngnó a chosaint. Líonraí Gáis Éireann cuideachta ghníomhaíochta ainmnithe, faoi theorainn scaireanna, atá corporaite in Éirinn leis an uimhir chláraithe 555744 agus a tá hoifig chláraithe ag Bóthar na nOibreacha Gáis, Corcaigh, T12 RX96.

Go raibh maith agat as d'aird a thabhairt.

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