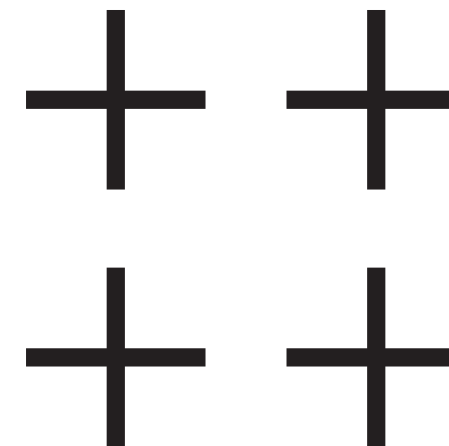




++ PLUS ARCHITECTURE

CLÚID HOUSING
MAHON
CO. CORK

MAY 2025



MAHON, CO. CORK

MAY 2025

PLUS ARCHITECTURE
CHANCERY LANE
DUBLIN 8
D08 C98X
IRELAND

T: +353 1 521 3378
PLUSARCHITECTURE.IE

DESIGN STATEMENT

CONTENTS

INTRODUCTION	04
SITE CONTEXT	
- LOCATION	05
- EXISTING CONDITION	07
- ANALYSIS	09
DESIGN PROPOSAL	
- PRINCIPLES	10
- SUMMARY	11
- DEVELOPMENT PLAN	
OBJECTIVES AND STANDARDS	12
- SCHEDULE OF	
ACCOMMODATION	13
COMPACT SETTLEMENT GUIDELINES	
CHECKLIST	14
PRECEDENTS	18
ANNEXE A: DRAWINGS	20
ANNEXE B:	
3D IMPRESSIONS	35
ANNEXE C:	
GNI CORRESPONDENCE	41

INTRODUCTION

This Design Statement has been prepared by PLUS Architecture on behalf of Cluid Housing for the Part 8 application for development at the Skehard Road site on Ballinure Avenue, Mahon, Co. Cork

The development will consist of:

- The construction of 22 new social housing dwellings organised in 4 no. 2 storey townhouses and 18 apartments in a 3 and 4 storey building
- Resident parking of 20 spaces, covered bike store and bin store
- All associated site and landscaping works including replacement of the vehicular and pedestrian gates at the entrance.

SITE CONTEXT

LOCATION

The site is located at the corner of Skehard Road and Ballinure Avenue, in Mahon, Cork City. It is 1.6km from Mahon Shopping Centre. The surrounding area features a range of terraced and semi-detached dwellings.

The site is bounded to the south by St Michael's Cemetery. The site, which is the ownership of Cork City Council, was previously occupied by a hostel. This has since been demolished in preparation for redevelopment of the site.



TO SHOPPING CENTRE

SITE CONTEXT

LOCATION

Transport Links: The site is approximately 5km and a 14 minute drive to Cork City Centre. Buses no. 215 215A & 202 run nearby.

The site adjoins two routes of the Mahon Cycle Scheme as shown opposite.

Mahon Local Area Plan 2014:
The objectives for the site are described in the extracts below:

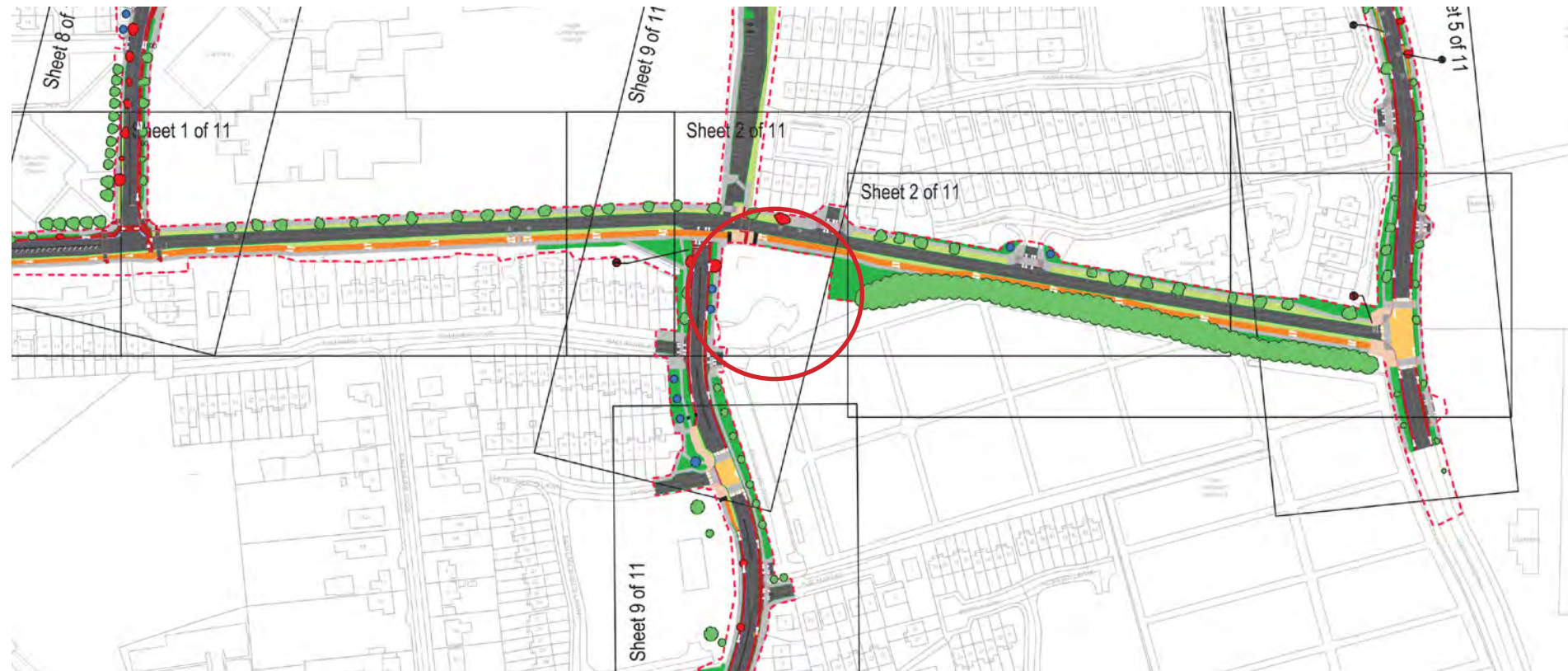


FIG 1 Mahon Cycle Scheme Plan, National Transport Authority extract, not to scale

FIG 2-4 BELOW Figures extracted from Mahon Local Area Plan 2014

Figure 4.8: Skehard Road (East) Sub-Area Objectives



Figure 4.8 : Skehard Road (East) Sub-Area Objectives

Site identified as Development opportunity

Figure 3.8: Mahon Strategic Urban Design Objectives



Figure 3.8 Mahon Strategic Urban Design Objectives

Site identified as Key Corner with objective 'To mark the significance of a number of key corner locations by locating buildings that are designed to address the corner and be viewed from key street aspects'.

Figure 3.10: Mahon Landscape and Open Space Strategy



Figure 3.10 Mahon Landscape and Open Space Strategy

Site identified on Landscape Strategy Route for Street Enhancement with the objective to address the poor tree structure in Mahon.

Figure 3.7: Bus-based transport proposals

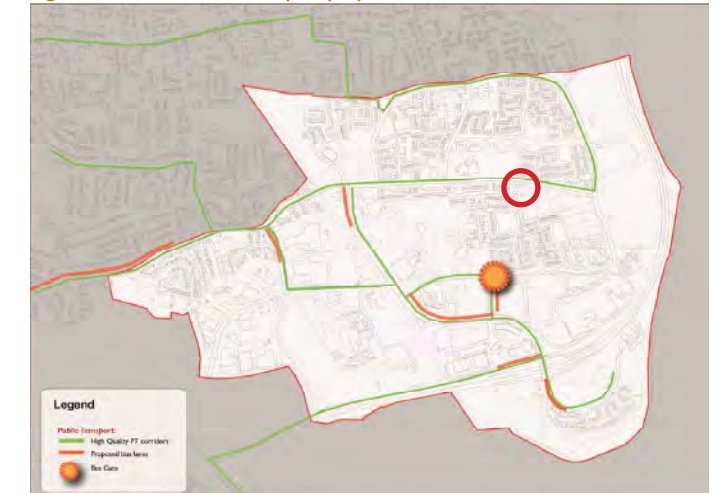


Figure 2.7 Bus based transport proposals

Site identified on high quality PT corridor

SITE CONTEXT

EXISTING CONDITION

The site was previously occupied by a hostel. This has recently been demolished in preparation for redevelopment of the site.

There is a level difference of 1 to 1.3m between the site entrance on Ballinure Avenue to the South West and the end of the site to the East on Skehard Road.

An existing Gas Main Line runs through the site along the south boundary. This means a 9m wayleave is required either side of it, restricting the footprint for future development. Please refer to Annexe C for further details on the Gas Main.



FIG 1 Existing Site Layout Plan, scale 1:500 @ A3

SITE CONTEXT

EXISTING CONDITION

Existing photos



FIG 1-3 Inside the site



FIG 6 Unobstructed views towards Lough Mahon



FIG 5 No footpath on Northern side



FIG 4 Eastern boundary - Future opportunity?



FIG 7 Key corner

SITE CONTEXT

Opportunities and constraints

Cork Harbour SPA

Surface ater drainage

The employment of SUDS and achievement of conservation objectives for habitat / species are key priorities.

Gas Line Crossing Site

indicated in Red on map
7 metre wayleave on either side of the gas mains, from the centre line of the main [or 3m when in a public road].

Residential Density

Social and affordable housing should be provided in accordance with the objectives set out in the current Joint City and County Housing Strategy, as incorporated into the development plan.

Density Medium 40dph - 75dph
Plot ratio 0.45 - 0.75

Comprising a mix of terraced housing and apartments / duplexes

16.8 Car Parking Standards

The subject site is zoned as 3 Rest of Cork City for parking
1-2 Bed 1 plus 0.25 spaces for visitor parking
3 Bed 2.0 plus 0.25 spaces for visitor parking.

The medium-to-long-term strategy is to gradually make car parking standards more restrictive as feasible alternatives are developed and are committed

Bicycle requirements - 1 per unit.

Building height

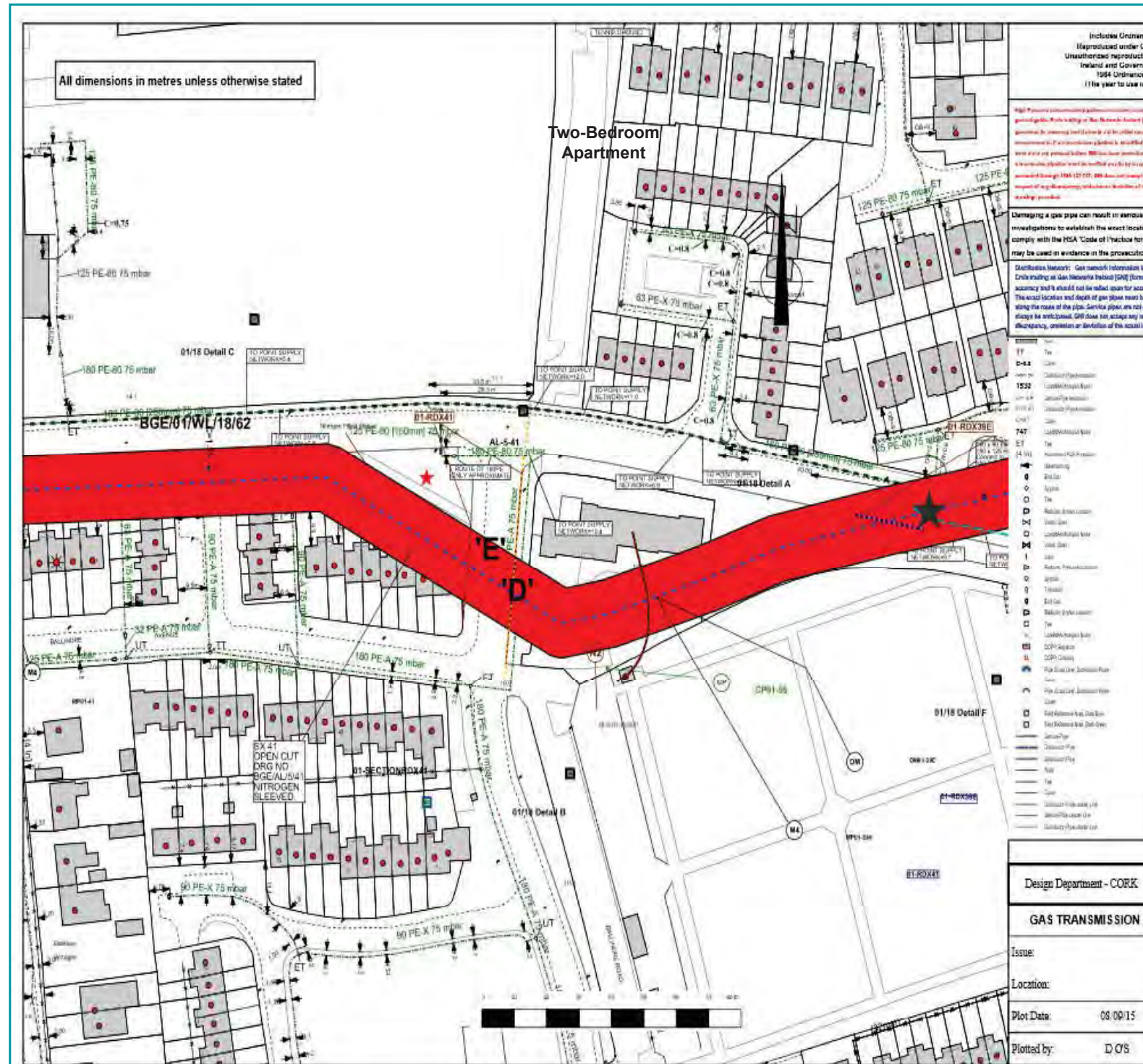
Between 2 and 3 storeys in height. Corner focal buildings at key corners/junctions are identified to give the potential for excellent building features, and the potential for additional floorspace at the corner, to emphasise the significance of locations in the city scape and to make the environment more legible to those experiencing it.

Private Open space

1 bed 6m2
2 bed 8 m2
3 bed 12m2
Townhouse 48-60m2

Public Open space 10%

cluid housing Site Analysis

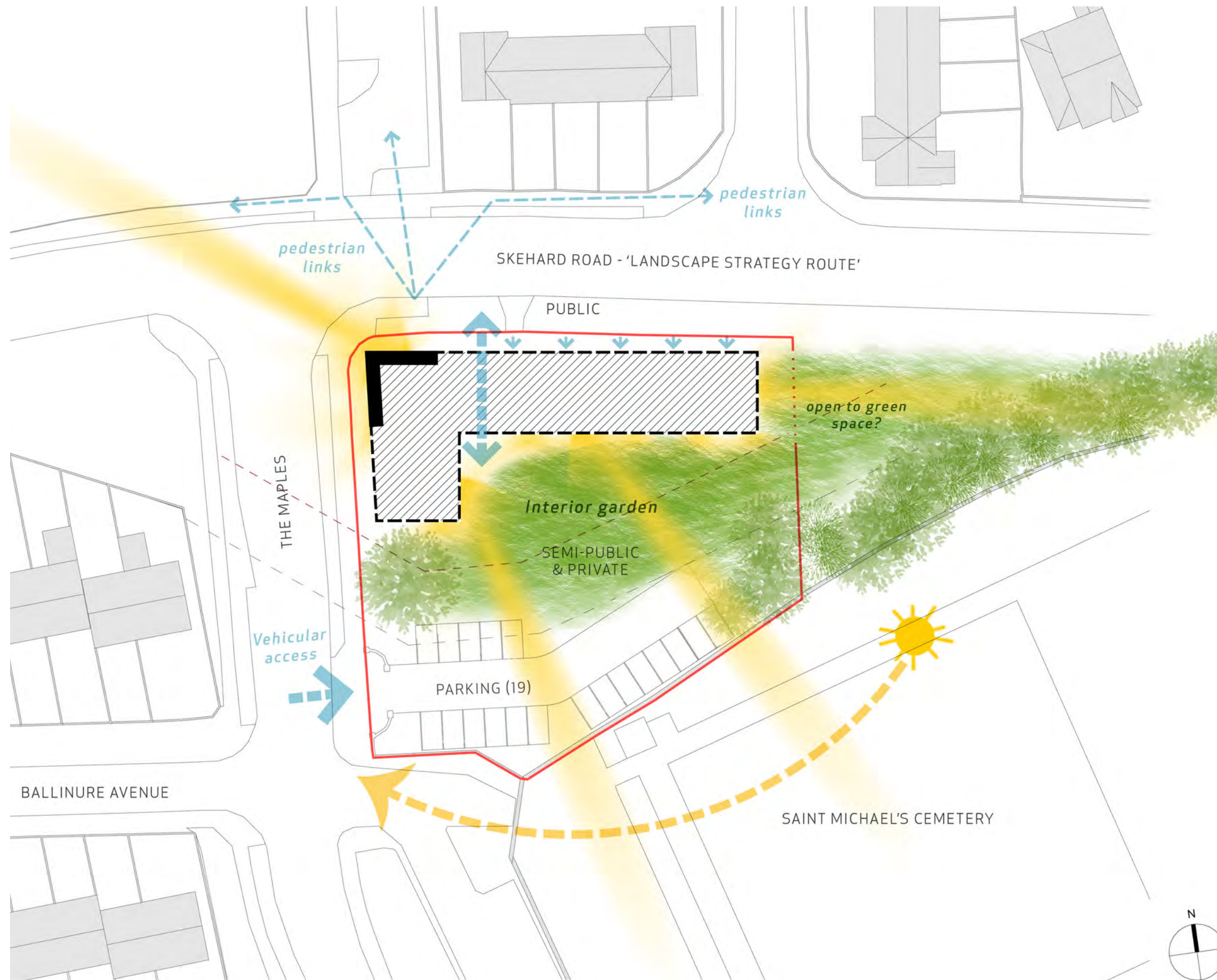


DESIGN PROPOSAL

PRINCIPLES

We can summarize our approach as follow for the design proposal as follow:

- Develop a 'L shape' footprint to make most of the site available.
- Emphasis on the angle.
- Dual aspects to all apartments.
- Activate the 'public' north elevation.
- Connect the building to pedestrian routes to the north and main entrance to the south.
- Create a semi-public interior garden with private open spaces opened to it.
- Extend views to the greater landscape.
- Q: potential for opening up the building to the eastern green?



DESIGN PROPOSAL

SUMMARY

Dwelling type	No.	Mix
1 Bed apartment	7	32%
2 Bed Apartment (3 people)	1	4.5%
2 Bed Apartment (4 people)	9	40.9%
2 Bed Townhouse (4 people)	4	18.2%
3 Bed Apartment (5 people)	1	4.5%
TOTAL	22	100%

Site Area (Red Line Boundary)	3977 sqm 0.4 hectares
No. of dwellings	22
Density (No. dwellings / Site Area)	55 units per hectare
Gross Floor Area	2016.7 sqm
Plot Ratio (Gross Floor Area / Site Area)	0.51
Site Coverage (Ground Floor Area / Site Area in %)	17.3%
Public Open Space Area	1498 sqm
Public Open Space Provision (POS Area / Site Area in %)	37.7%
Communal Open Space Area Provided	555 sqm
Communal Open Space Required	114 sqm
Building Heights	2 to 4 storey 14.56m high
Dual Aspects	82%
Vehicular parking	20 parking spaces
Including 5% DAC*	1
Including 1 EV space for every 5 space*	4
Resident Bicycle Parking	18

*As required in development standards 11.244 and 11.245, of the Cork City Development Plan 2022-2028, Chapter 11.

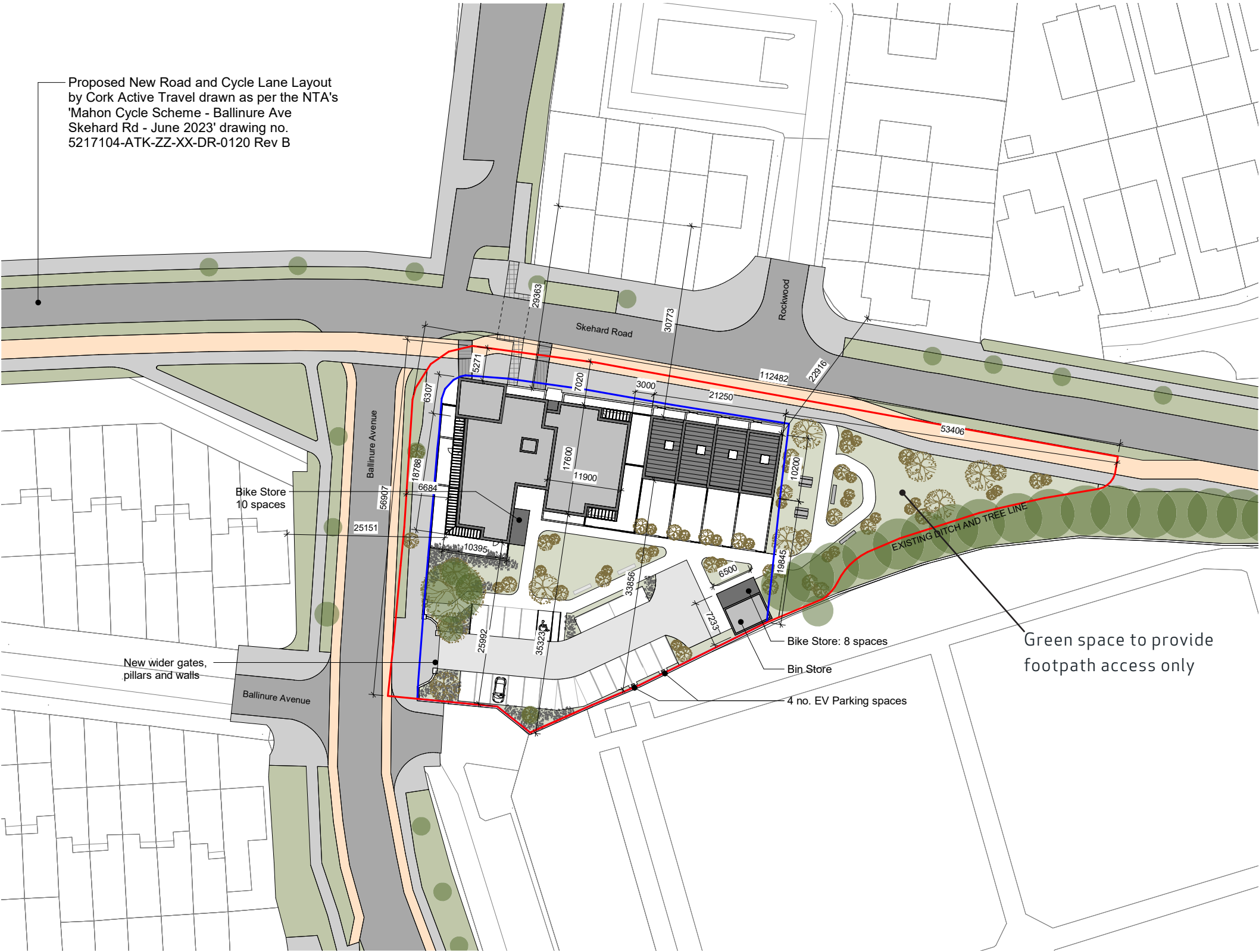


FIG 1 Proposed Site Layout Plan showing future condition, scale 1:500 @ A3

DESIGN PROPOSAL



FIG 1 Extract of CCDP 2022-2028 Zoning Map 06

It is our opinion that the proposal is in compliance with the objectives and design standards of the Cork City Development Plan 2022-2028.

ZONING

The site is zoned **ZO 01, Sustainable Residential Neighbourhoods** (light yellow) in the CCDP 2022-2028 (fig 1) with the objectives 'To protect and provide for residential uses and amenities, local services and community, institutional, educational and civic uses.'

Our proposal is for the development of 22 new social housing dwellings with associated residential amenities. In our opinion the proposal is in line with the zoning objective.

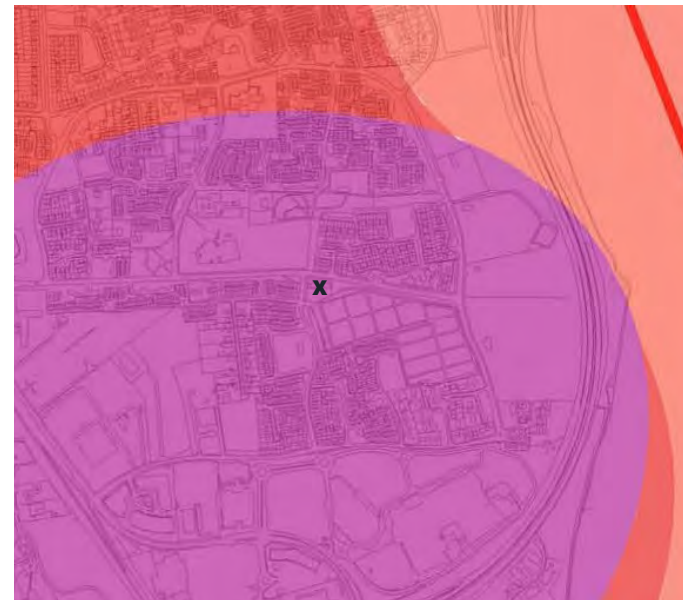


FIG 2 Extract of CCDP 2022-2028 Density and Heights Map 06

DENSITY AND BUILDING HEIGHT STRATEGY

Mahon is located in the **Primary Urban Corridors and Principal Towns** zone (magenta) in CCDP 2022-2028 (fig 2). Table 11.2 Cork City Density and Building Height Standards of the Development Plan further details the objectives for Mahon with a density target of 50 to 120 dwellings per hectare and 4 to 6 storey for building heights.

We are proposing a density of 55 dwellings per hectare and building heights varying from 2 to 4 storey. In our opinion, the proposal is appropriate in scale and density with the development plan objectives.

OPEN SPACE

The requirement for Public Open Space is 10%



FIG 3 Extract of CCDP 2022-2028 Parking Zone Map

as per development standard 11.112 of the CCDP 2022-2028. The minimum requirement for Common Open Space is calculated to be 141 sqm as per guidelines from the Sustainable Urban Housing, Design Standards for New Apartments, July 2023.

Our proposal exceeds the requirements for both Public and Common Open Space (fig 4 and schedule of accommodation).

CAR AND BICYCLE PARKING

The site is located in Zone 3 (brown) of the Parking Zone Map of Cork City Development Plan 2022-2028 (fig 5). As per Table 11.13: Maximum Car Parking Standards of the Development Plan, the maximum parking allowed for the site would

DEVELOPMENT PLAN OBJECTIVES AND STANDARDS

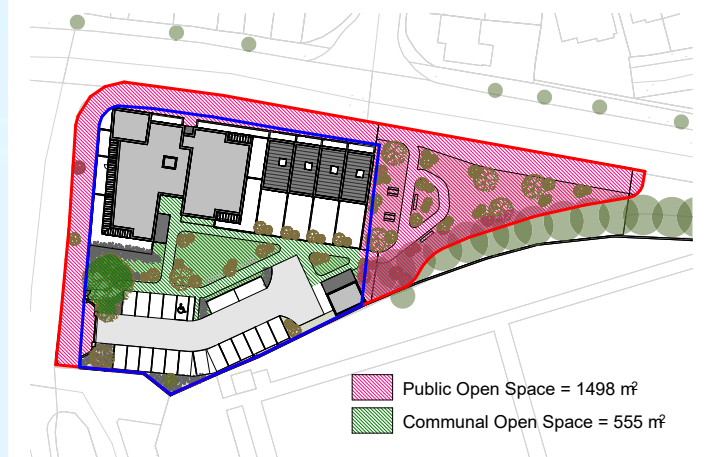


FIG 4 Open Space Areas

be 28.5 spaces (=1.25 x 21 no. 1-2 bedroom units) + 2.25 x 1 no. 3 bedroom unit).

We are proposing 20 parking spaces including one disabled and 4 EV spaces as well as ducting for future charging points. In our opinion, the proposed parking is in line with the Development Plan.

We are providing secured and covered bicycle parking (18) at a ratio of 0.8 per apartment which is greater than the Development Standard of 0.5 per apartment as per Table 11.14: Bicycle Parking Requirements of the CCDP 2022-2028.



SCHEDULE OF
ACCOMMODATION

Project Information	
Job Number/Code	480 / MAH
Name	Clúid Mahon
Address	Skehard Road Site, Mahon Cork
Distribution	
Planning Authority	Cork County Council
Document information	
Document Number	MAH-PLU-ZZ-ZZ-SH-AR-Housing Quality Assessment

Standards Reference	Sustainable Urban Housing, Design Standards for New Apartments, July 2023										
Requirements	Dwelling Type	No. of bed spaces	Minimum GIA (sq.m)	Minimum Aggregate Living Area (sq.m.)	Minimum Bedroom Area 1 (sq.m)	Minimum Bedroom Area 2 (sq.m)	Minimum Bedroom Area 3 (sq.m)	Minimum Aggregate Bedroom Areas (sq.m)	Minimum Storage (total) sq.m	Minimum Private Open Space (sq.m)	Minimum floor areas for communal amenity
	STUDIO	1	37	30					3	4	4
	1 BED	2	45	23	11.4			11.4	3	5	5
	2 BED	3	63	28	13	7.1		20.1	5	6	6
	2 BED	4	73	30	13	11.4		24.4	6	7	7
	3 BED	5	90	34	13	11.4	7.1	31.5	9	9	9

Unit. No.	Dwelling Size	Dwelling Type	GIA (sq.m)	Aggregate Living Area (sq.m.)	Bedroom Area 1 (sq.m)	Bedroom Area 2 (sq.m)	Bedroom Area 3 (sq.m)	Aggregate Bedroom Areas (sq.m)	Storage (total) sq.m	Private Open Space (sq.m)	Minimum Public Open Space Required	Aspect	10% + Larger than Apartment Guidelines
00 Ground Floor													
00.01	2 BED 4 PERSON	Apartment	89.8	39.8	13.2	11.4		24.6	6	23.3	7	Dual Aspect	Yes
00.02	3 BED 5 PERSON	Apartment	90.2	34	12	15.5	8.2	35.7	9	38	9	Dual Aspect	No
00.03	2 BED 3 PERSON	Apartment	71.1	28	13	7.2		20.2	5.3	44.8	6	Dual Aspect	Yes
00.04	1 BED 2 PERSON	Apartment	62.8	32.8	14.4			14.4	3.4	16.1	5	Single Aspect	Yes
00.05	2 BED 4 PERSON	Apartment	83.5	33.5	13	12.1		25.1	6.6	10.9	7	Dual Aspect	Yes
00.06	2 BED 4 PERSON	2 Storey House	85.7	31.6	13.7	12		25.7	7.7	45.2	7	Dual Aspect	Yes
00.07	2 BED 4 PERSON	2 Storey House	85.7	31.6	13.7	12		25.7	7.7	43.2	7	Dual Aspect	Yes
00.08	2 BED 4 PERSON	2 Storey House	85.7	31.6	13.7	12		25.7	7.7	43.2	7	Dual Aspect	Yes
00.09	2 BED 4 PERSON	2 Storey House	85.7	31.6	13.7	12		25.7	7.7	45.2	7	Dual Aspect	Yes
01 First Floor													
01.01	2 BED 4 PERSON	Apartment	81.4	32.1	13.2	11.4		24.6	6	7.8	7	Dual Aspect	Yes
01.02	2 BED 4 PERSON	Apartment	82.8	33.8	13.3	12.5		25.8	6.7	8.2	7	Dual Aspect	Yes
01.03	1 BED 2 PERSON	Apartment	53.5	23	12.6			12.6	3	18	5	Dual Aspect	Yes
01.04	1 BED 2 PERSON	Apartment	50.7	23	13.3			13.3	3.5	10.6	5	Single Aspect	Yes
01.05	2 BED 4 PERSON	Apartment	87.7	37.3	14	11.5		25.5	6.8	7.2	7	Dual Aspect	Yes
02 Second Floor													
02.01	2 BED 4 PERSON	Apartment	81.4	32.1	13.2	11.4		24.6	6	7.8	7	Dual Aspect	Yes
02.02	2 BED 4 PERSON	Apartment	82.8	33.8	13.3	12.5		25.8	6.7	8.2	7	Dual Aspect	Yes
02.03	1 BED 2 PERSON	Apartment	53.5	23	12.6			12.6	3	18	5	Dual Aspect	Yes
02.04	1 BED 2 PERSON	Apartment	50.7	23	13.3			13.3	3.5	10.6	5	Single Aspect	Yes
02.05	2 BED 4 PERSON	Apartment	87.7	37.3	14	11.5		25.5	6.8	7.2	7	Dual Aspect	Yes
03 Third Floor													
03.01	1 BED 2 PERSON	Apartment	53.5	23	12.6			12.6	3	18	5	Dual Aspect	Yes
03.02	1 BED 2 PERSON	Apartment	50.7	23	13.3			13.3	3.5	10.6	5	Single Aspect	Yes
03.03	2 BED 4 PERSON	Apartment	87.7	37.3	14	11.5		25.5	6.8	7.2	7	Dual Aspect	Yes

Level	Gross Floor Area (sq.m)	Unit Mix			
		1 Bed	2 Bed (3p)	2 Bed (4p)	3 Bed (5p)
00 Ground Floor	686.40	1	1	6	1
02 First Floor	629.30	2		3	
02 Second Floor	439.80	2		3	
03 Third Floor	261.20	2		1	
TOTAL	2016.70	7 (32%)	1 (4.5%)	13 (59%)	1 (4.5%)

Key Site Statistics Summary		
Site Area (Red Line Boundary)	3977 sq.m	0.40 ha
No. of dwellings	22 units	
Density (= No. dwellings / Site Area)	55 unit per hectare	
Gross Floor Area	2017 sq.m	
Plot Ratio (= Gross Floor Area / Site Area)	0.51	
Site Coverage (= Ground Floor Area / Site Area in %)	7.3%	
Public Open Space Area	1498 sq.m	
Public Open Space Provision (= POS Area / Site Area)	37.7 %	10% minimum required
Communal Open Space Provided	555.0 sq.m	141 sqm minimum required
Building Heights	2 to 4 storey	
Dual Aspects	82%	
Vehicular parking	20	28.5 maximum allowed
Including DAC	1	
Including EV	4	
Resident Bicycle Parking	18	11 minimum required (0.5 per unit)

COMPACT SETTLEMENT GUIDELINES CHECKLIST

1. SUSTAINABLE AND EFFICIENT MOVEMENT

(i) Permeability

Will the plan or development proposal establish a highly permeable and legible network of streets and spaces within the site that optimises movement for sustainable modes of transport (walking, cycling and public transport)?

The proposal is designed around the requirements of the site constraints, in particular the large gas main traversing the site.

Currently the existing site is a sealed and private complex, which we are seeking to open up entirely to the wider neighbourhood by providing new access points for pedestrians and cycles.

Car-parking has been provided on the site, however the landscape design prioritises an atmosphere where vehicle use is secondary to the pedestrian through the predominance of shared surfaces and cycle paths.

(ii) Connections

Have opportunities to improve connections with and between established communities been identified and responded to with particular regard to strategic connections between homes, shops, employment opportunities, public transport, local services and amenities?

The development has been designed to provide all of the required pedestrian, cycle and vehicular connections across the site and into neighbouring development lands. We are proposing to develop the site in such a way as to avoid compromising the ambitions of the upgrades proposed to Skehard Road in terms of bicycle lanes and footpaths etc.

The existing entrance from Ballinure Avenue will be maintained to ensure continuity on the road network. A pedestrian route across the site is to be provided from Skehard Road to Ballinure Avenue.

(iii) Inclusivity

Are streets designed (including the retrofitting of existing streets adjacent to or on-route to the site, where appropriate) in accordance with DMURS to calm traffic and enable the safe and comfortable movement of vulnerable users?

The approach to landscape design around the entire site in terms of detailing of footpaths and shared surfaces facilitates the movement of people with impaired mobility. The layout and landscape design will fully comply with the requirements of Part M 2022.

Car-parking across the site is limited and on-grade. Appropriate numbers of accessible parking spaces have been provided.

Our design proposal prioritises cycles and pedestrians throughout, and elsewhere shared surfaces create a scheme whereby pedestrians have clear priority and vehicles have to slow down to facilitate this.

(iv) Parking

Has the quantum of parking been minimised (in accordance with SPPR4 where relevant) and designed and located in a way that seeks to reduce the demand for private car use, promote sustainable modes of transport and ensure that the public realm is not dominated by parked vehicles?

The proposed development consists of 20 parking spaces, all on grade. With 22 dwellings, the parking ratio is 0.9 space per housing unit which is appropriate in the suburban context. This includes 1 disabled parking space and 4 EV spaces along with ducting for future EV charging.

There are approximately 18 bicycle parking spaces provided. All of the bicycle parking is provided on grade easily accessible from the public domain but within secure parking facilities. We have brought the bicycle parking to the 'front of house' to try to engender a culture of bicycle use throughout the development.

COMPACT SETTLEMENT GUIDELINES CHECKLIST

2. MIX OF LAND USES (VIBRANT CENTRES AND COMMUNITIES)

(i) Mix of uses

Is the mix and intensity of land uses appropriate to the site and its location and have land uses been distributed in a complementary manner that optimises access to public transport, amenities and local services via walking or cycling?

The subject site is adjacent to the existing road network which gives access to significant public transport amenity.

The residential density for the site is proposed to be 55 units per hectare which is within the acceptable standards set out in the new Sustainable and Compact Settlement Guidelines.

(ii) Diversity

Have a diverse and varied range of housing types been provided to meet local and projected needs (having regard to the Housing Need Demand Assessment), supplemented by an innovative range of housing typologies that support greater housing affordability and choice?

A housing mix has been proposed which we believe is appropriate to the viability and suitability of the project within the receiving environment. The mix consists of 1, 2 and 3 bedroom apartments and 2 bedroom townhouses enjoying own-door access from the public realm.

There is also a significant provision of open space including play spaces for all age groups.

(iii) Regeneration

Will the plan or development proposal supplement and/or support the regeneration and revitalisation of an existing centre or neighbourhood, including the adaption and re-use of the existing building stock in order to reduce vacancy and dereliction (where applicable) and promote town centre living (where applicable)?

The existing site is a sealed and underused site with minimal biodiversity and no public access. We seek to reverse this by way of a comprehensive and high quality landscape strategy which prioritises pedestrians and native planting. The surface water strategy proposed is compliant with the standards set out in the development plan, seeking to contain all surface water within our own boundary and ensure no further pressure is applied to public infrastructure.

(iv) Public Realm

Is the regeneration and revitalisation of an existing centre or neighbourhood supported by the enhancement of the public realm so as to create a more liveable environment, attract investment and encourage a greater number of visitors (where applicable)?

A key design concept in all of the public space in our proposal has been the idea of passive surveillance. A significant amount of ground floor and first floor residential spaces provide security through passive surveillance and active frontage. Own-door units in particular provide a comforting sense of oversight to all the public and private spaces adjacent.

COMPACT SETTLEMENT
GUIDELINES CHECKLIST

3. GREEN AND BLUE
INFRASTRUCTURE (OPEN
SPACE, LANDSCAPE AND
HERITAGE)

(i) Biodiversity

Has the plan or development proposal positively responded to natural features and landscape character, with particular regard to biodiversity, vistas and landmarks and the setting of protected structures, conservation areas and historic landscapes?

The proposed development will include a planting strategy based on native and pollinator friendly species. Various mowing regimes will establish a diversity of habitats on the site.

There are no protected structures on the site.

(ii) Open Space Design

Have a complementary and interconnected range of open spaces, corridors and planted/ landscaped areas been provided, that create and conserve ecological links and promotes active travel and healthier lifestyles?

The relatively small scale of the development and the inherent site constraints of the gas network infrastructure means that a single open space on the southern side of the site has been proposed. This open space provides a direct connection across the site from southwest to northeast to link into a small green space on Skehard Road.

The open spaces are directly connected to the existing hedgerows along the boundary with the cemetery and allow us to conserve as much of these natural amenities as possible.

(iii) Accessibility

Are public open spaces universally accessible and designed to cater for a range of active and passive recreational uses (taking account of the function of other spaces within the network)?

The proposed development will contribute to the enhancement of the public space and provide for a new public amenity. These are designed to be inclusive and accessible using best-practice design guidelines as a benchmark for the development.

(iv) Nature based solutions

Does the plan or development proposal include integrated nature-based solutions for the management of urban drainage to promote biodiversity, urban greening, improved water quality and flood mitigation??

A full detailed surface water management plan is included with this planning application.

COMPACT SETTLEMENT GUIDELINES CHECKLIST

4. RESPONSIVE BUILT FORM

(i) Legible Urban Structure

Does the layout, orientation and scale of development support the formation of a coherent and legible urban structure?

The block layout has been developed as a direct response to the site constraints and urban edge, which in turn seeks to respond to the existing and proposed emerging context. This has been proposed to minimise the adverse impacts on the existing residential dwellings and amenities along Ballinure Avenue and Skehard Road.

We have proposed suitable separation distances between our proposed blocks and neighbouring sites and landscaped boundary treatments are proposed on all sides to ensure a high quality residential amenity and landscape character are provided.

(ii) Public/Private

Do buildings address streets and spaces in a manner that will ensure they clearly define public and private spaces, generate activity, maximise passive surveillance and provide an attractive and animated interface?

Each apartment meets and, in many cases exceeds the requirement for private open space and storage space as envisioned in the Design Standard for New Apartments - Guidelines for Planning Authorities. There is also a high proportion of dual aspect apartments throughout the scheme, with 82% of apartments double or triple aspect.

Adequate space between buildings is provided to avoid over-looking between apartments. The ground floor apartments are appropriately screened by layers of landscaping to provide privacy without physical barriers. Mediating between people’s desire for privacy and the creation of active frontages which animate the street and make the public spaces feel safe.

The scheme provides a variety of room types for each elevation to ensure that all sides of the building provide a good level of passive natural surveillance.

(iii) Context

Does the layout, scale and design features of new development respond to prevailing development patterns (where relevant), integrate well within its context and provide appropriate transitions with adjacent buildings and established communities so as to safeguard their amenities to a reasonable extent?

The immediate vicinity of the subject site is predominantly residential however there are some strategically relevant uses such as the Shopping Centre approximately 1.6 km south of the site. The large cemetery along the southern boundary does not provide any relevant context to which we can respond.

In all previous discussions with the council it has been our agreed strategy to provide a strong architectural statement and sense of visual identity / address at the prominent corner of our site. As such our proposal is seeking to create a context for the area where most residential developments have turned their back on the urban environment creating a sense of alienating streets with little passive surveillance.

(iv) Identity

Has a coherent architectural and urban design strategy been presented that will ensure the development is sustainable, distinctive, complements the urban structure and promotes a strong sense of identity?

The overall development has been designed to create a strong sense of visual identity for this key site within the masterplan. The initial approach to the site from the west creates a strong sense of place through the provision of a local landmark building. The taller element of our proposal seeks to mark this corner within what is an otherwise loose urban grain in the immediate context.

The high quality network of pedestrian links throughout the site further engenders a sense of placemaking.

Particular care has been taken with the specification of materials and detailing in the street level such as entrances, terraces and public spaces. The proposed scheme will be predominantly brick-based which will be varied in finish to avoid monotony, ensure long-term durability and provide a consistent identity while while avoiding unnecessary architectural embellishment.

PRECEDENTS

Sculptural roof shape with a domestic language to aid in place-making and sense of identity.



PRECEDENTS

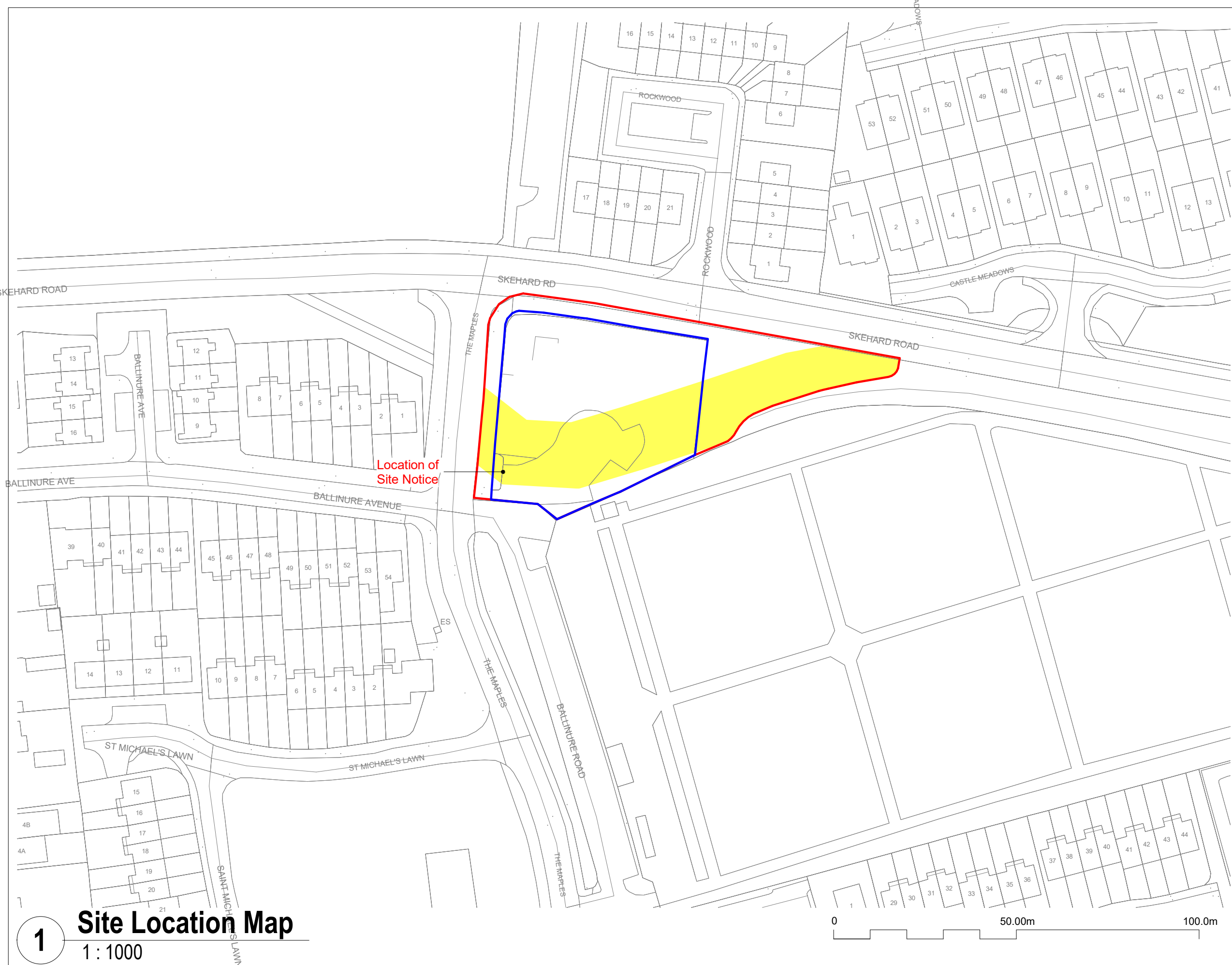
Emphasis on the angle with a taller element.
Origami roof shape with a domestic language.





ANNEXE A

DRAWINGS



1 Site Location Map
1 : 1000

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions
DO NOT SCALE OFF THIS DRAWING IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

- Site Boundary Line
- Land Ownership Boundary
- Wayleave

NORTH POINT:

N

KEY PLAN:

++ PLUSARCHITECTURE

Chancery Lane, Dublin 8, D08 C96X, Ireland. www.plusarchitecture.ie
T: 353 (0) 1 521 3378

Client: Cluid Housing

Project:	Clúid Mahon	Code:	MAH	Prijet No:	480	Drawn/Checked By:	AB/ GW	Scale:	As indicated	Size:	A3L
Title:	Site Location Map	Issue Type:	Planning								
Drawing No.:	MAH-PLA-ZZ-ZZ-DR-AR-01001	Status:	A0	Rev. No.:	P00	Date:	15/04/2025				

Product Version:
=====

Version= 1.3

License / Copyright:
=====

Ordnance Survey Ireland 'Terms of Use' apply.
Please visit 'www.osi.ie/about/terms-conditions'.

© Ordnance Survey Ireland, 2022

Compiled and published by Ordnance Survey
Ireland, Phoenix Park, Dublin 8, Ireland.

Unauthorised reproduction infringes Ordnance Survey Ireland and Government of Ireland copyright.

All rights reserved. No part of this publication may be copied, reproduced or transmitted in any form or by any means without the prior written permission of the copyright owners.

The representation on this map of a road, track or footpath is not evidence of the existence of a right of way.

Ordnance Survey maps never show legal property boundaries, nor do they show ownership of physical features.

© Suirbhéireacht Ordanáis Éireann, 2022

Arna thiomsú agus arna fhoilsiú ag Suirbhéireacht Ordanáis Éireann, Páirc an Fhionnuisce, Baile Átha Cliath 8, Éire.

Sáraíonn atáirgeadh neamhúdairithe cóipcheart Shuirbhéireacht Ordanáis Éireann agus Rialtas na hÉireann.

Gach cead ar cosnamh. Ní ceadmhach aon chuid den fhoilseachán seo a chóipeáil, a atáirgeadh nó a tharchur in aon fhoirm ná ar aon bhealach gan cead i scríbhinn roimh ré ó úinéirí an chóipchirt.

Ní hionann bóthar, bealach nó cosán a bheith ar an léarscáil seo agus fianaise ar chead slí.

Ní thaispeánann léarscail de chuid Ordanáis Shuirbheireacht na hÉireann teorann phointí dleathúil de mhaoin riamh, ná úinéireacht de ghnéithe fhisiúla



1

Proposed Site Layout Plan

1 : 500

Copyright of this drawing is vested in the architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative to their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

LEGEND

- Site Boundary Line
- Land Ownership Boundary
- Existing tree

NORTH POINT:

N

KEY PLAN:

++ PLUS ARCHITECTURE

Chancery Lane, Dublin 8, D08 C96X, Ireland. www.plusarchitecture.ie
T: 353 (0) 1 521 3378

Client: Cluid Housing

Project:	Cluid Mahon	Code:	MAH	Pjct No:	480	Drawn/Checked By:	AB/ GW	Scale:	1 : 500	Size:	A3L
Title:	Proposed Site Layout Plan	Issue Type:	Planning								
Drawing No.:	MAH-PLA-ZZ-ZZ-DR-AR-01002	Status:	A0	Rev. No.:	P00	Date:	15/04/2025				



1 **Site Plan Layout_proposed Future Condition**
1 : 500

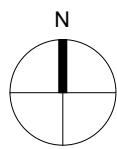
LEGEND
— Site Boundary Line
— Land Ownership Boundary
● Existing tree

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

NORTH POINT:



KEY PLAN:

++
++
PLUSARCHITECTURE

Chancery Lane, Dublin 8, D08 C98X, Ireland.
www.plusarchitecture.ie
T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code:	Pjct No:	Drawn/Checked By:	Scale	Size
MAH	480	AB/ GW	1 : 500	A1L
Issue Type: Planning				
Status:	Rev. No.:	Date:		
A0	P00	15/04/2025		

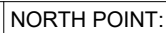
Project: Clúid Mahon
Title: Site Plan Layout_Proposed Future Condition
Drawing No.: MAH-PLA-ZZ-ZZ-DR-AR-01004



1

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

— Site Boundary Line
— Land Ownership Boundary



++
++
PLUSARCHITECTURE

Client:

Cluid Housing

Planning

Status

Date:

Date:

Title:
Existing Site Survey

Drawing No.:
MAH-PLA-ZZ-ZZ-DR-AR-01005

Drawing No.:



	1 Bed	2 Bed	2 Bed (3p)	3 Bed	TOTAL
Ground Floor	1	6	1	1	9
First Floor	2	3			5
Second Floor	2	3			5
Third Floor	2	1			3
TOTAL	7 (32%)	13 (59%)	1 (4.5%)	1 (4.5%)	22

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING. IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

LEGEND

Site Boundary Line

Land Ownership Boundary

Existing tree

NORTH POINT:

KEY PLAN:

++
++
PLUSARCHITECTURE

Chancery Lane, Dublin 8, D08 C9EX, Ireland.
www.plusarchitecture.ie

T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code: MAH	Pjct No: 480	Drawn/Checked By: AB/ GW	Scale 1 : 100	Size A1L
Issue Type: Planning				
Status: A0	Rev. No.: P00	Date: 15/04/2025	Project: Cluid Mahon	
Drawing No.: MAH-PLA-ZZ-00-DR-AR-02001			Title: Ground Floor Plan	



	1 Bed	2 Bed	2 Bed (3p)	3 Bed	TOTAL
Ground Floor	1	6	1	1	9
First Floor	2	3			5
Second Floor	2	3			5
Third Floor	2	1			3
TOTAL	7 (32%)	13 (59%)	1 (4.5%)	1 (4.5%)	22

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING. IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

LEGEND

- Site Boundary Line
- Land Ownership Boundary
- Existing tree

NORTH POINT:

KEY PLAN:

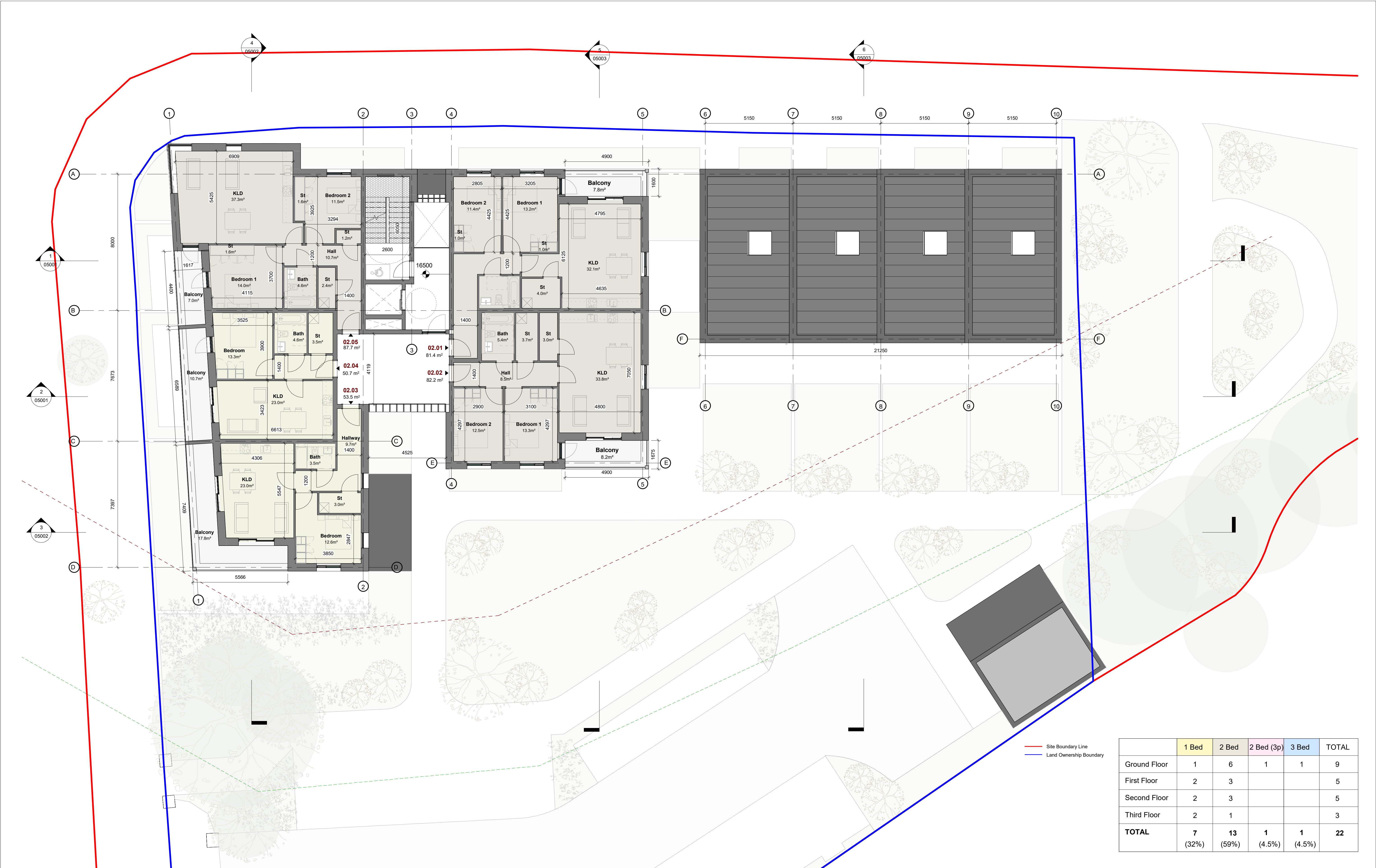
++
++
PLUSARCHITECTURE

Chancery Lane, Dublin 8, D08 C98X, Ireland.
www.plusarchitecture.ie

T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code: MAH	Pjct No: 480	Drawn/Checked By: AB/ GW	Scale 1 : 100	Size A1L
Issue Type: Planning				
Status: A0	Rev. No.: P00	Date: 15/04/2025	Project: Cluid Mahon	
Drawing No.: MAH-PLA-ZZ-01-DR-AR-02002			Title: First Floor Plan	



Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING. IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

LEGEND

— Site Boundary Line

— Land Ownership Boundary

● Existing tree

NORTH POINT:

KEY PLAN:

++
++
PLUSARCHITECTURE

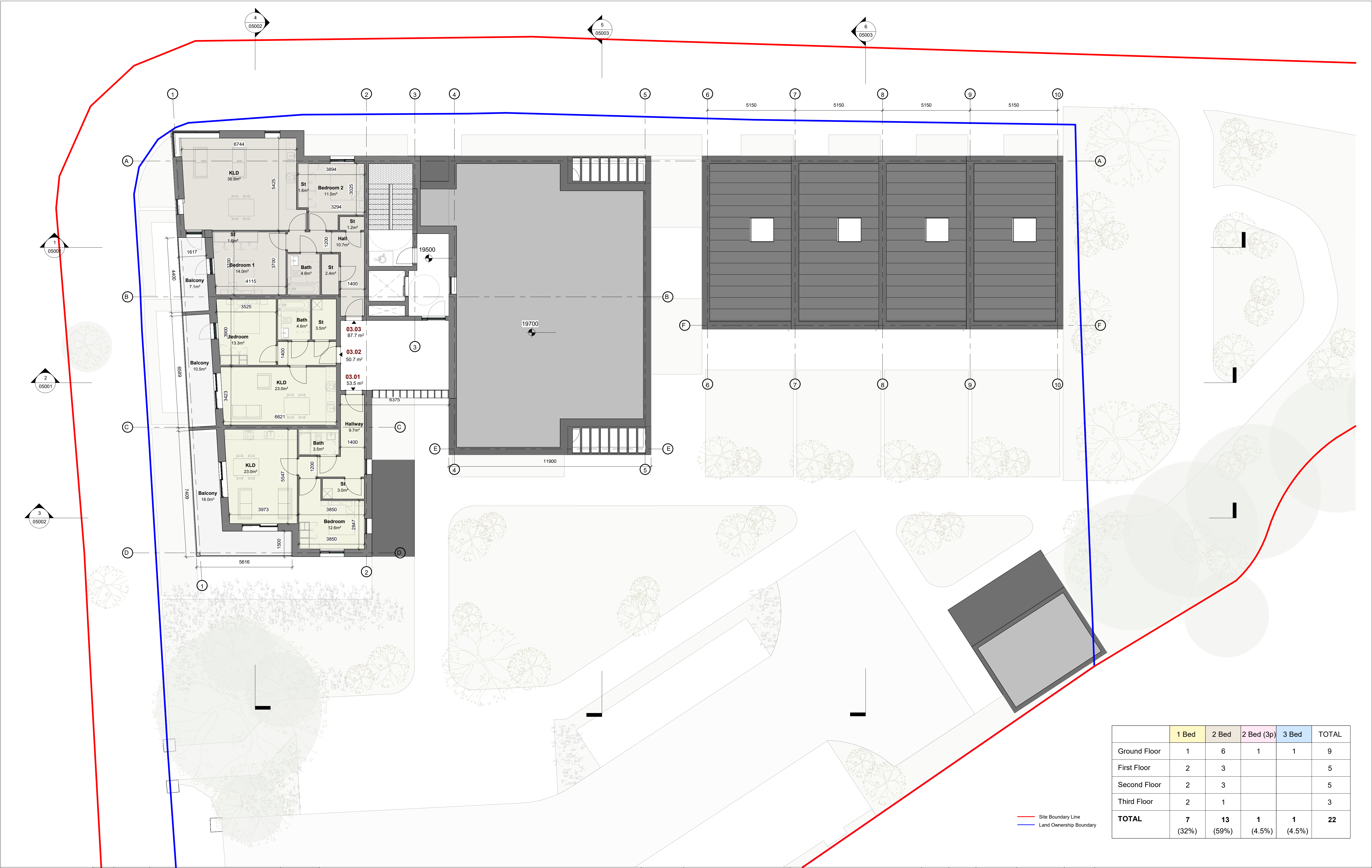
Chancery Lane, Dublin 8, D08 C98X, Ireland.
www.plusarchitecture.ie

T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code:	Pjct No:	Drawn/Checked By:	Scale	Size	Project:
MAH	480	AB/ GW	1 : 100	A1L	Cluid Mahon
Issue Type:					
Planning					
Status:	Rev. No.:	Date:	Drawing No.:		
A0	P00	15/04/2025	MAH-PLA-ZZ-02-DR-AR-02003		

	1 Bed	2 Bed	2 Bed (3p)	3 Bed	TOTAL
Ground Floor	1	6	1	1	9
First Floor	2	3			5
Second Floor	2	3			5
Third Floor	2	1			3
TOTAL	7 (32%)	13 (59%)	1 (4.5%)	1 (4.5%)	22



	1 Bed	2 Bed	2 Bed (3p)	3 Bed	TOTAL
Ground Floor	1	6	1	1	9
First Floor	2	3			5
Second Floor	2	3			5
Third Floor	2	1			3
TOTAL	7 (32%)	13 (59%)	1 (4.5%)	1 (4.5%)	22

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING. IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:	NOTES:
P00	15/04/2025	Issued for Planning		

NORTH POINT:

KEY PLAN:

++
++
PLUSARCHITECTURE

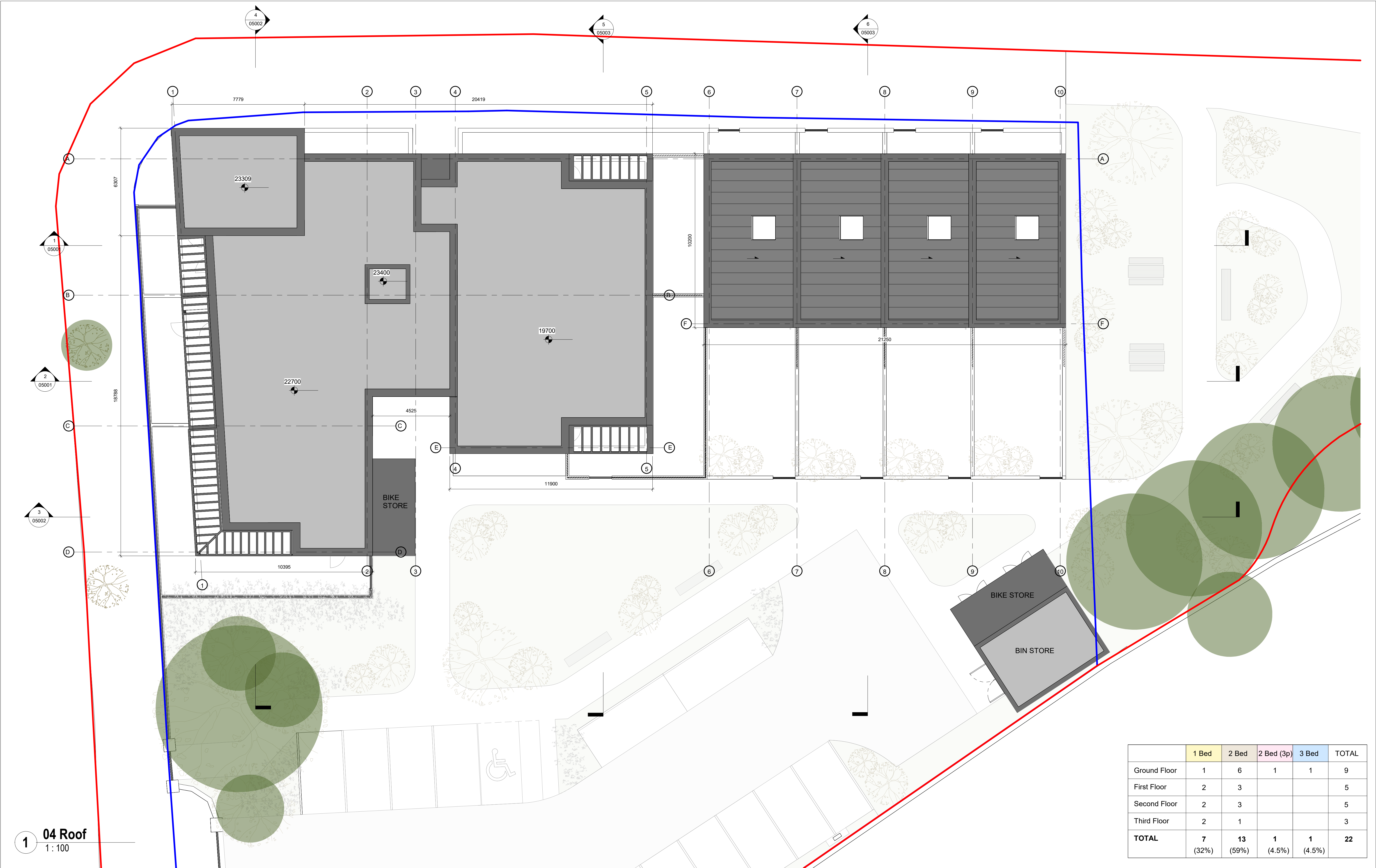
Chancery Lane, Dublin 8, D08 C98X, Ireland.
www.plusarchitecture.ie T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code:	Pjct No:	Drawn/Checked By:	Scale	Size	Project:
MAH	480	AB/ GW	1 : 100	A1L	Cluid Mahon
Issue Type:					
Planning					
Status:	Rev. No.:	Date:	Drawing No.:		
A0	P00	15/04/2025	MAH-PLA-ZZ-03-DR-AR-02004		

Title:

Third Floor Plan



	1 Bed	2 Bed	2 Bed (3p)	3 Bed	TOTAL
Ground Floor	1	6	1	1	9
First Floor	2	3			5
Second Floor	2	3			5
Third Floor	2	1			3
TOTAL	7 (32%)	13 (59%)	1 (4.5%)	1 (4.5%)	22

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING. IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

LEGEND

— Site Boundary Line

— Land Ownership Boundary

Existing tree

NORTH POINT:

KEY PLAN:

++
++
PLUSARCHITECTURE

Chancery Lane, Dublin 8, D08 C98X, Ireland.
www.plusarchitecture.ie T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code: MAH	Pjct No: 480	Drawn/Checked By: AB/ GW	Scale 1 : 100	Size A1L	Project: Cluid Mahon
Issue Type: Planning					Title: Roof Plan
Status: A0	Rev. No.: P00	Date: 15/04/2025	Drawing No.: MAH-PLA-ZZ-RF-DR-AR-02005		



- LEGEND
- Area to be taken in charge by CCC
 - Site Boundary Line
 - Land Ownership Boundary

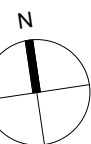
1 00 Taking in charge drawing
1 : 200

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

NORTH POINT:



KEY PLAN:

++
++
PLUSARCHITECTURE
Chancery Lane, Dublin 8, D08 C98X, Ireland.
www.plusarchitecture.ie T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code:	Pjct No:	Drawn/Checked By:	Scale	Size
MAH	480	AB/ GW	As indicated	A1L
Issue Type: Planning				
Status:	Rev. No.:	Date:		
A0	P00	15/04/2025		

Project: Clúid Mahon
Title: Taking in charge
Drawing No.: MAH-PLA-ZZ-00-DR-AR-02300



1 NORTH ELEVATION
1:100



2 SOUTH ELEVATION
1:100

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

- 1 Pale red brick. Ibstock Old English Birtley Buff
- 2 Full height clear glazed window with feature operable solid spandrel panels in aluminium. Frames and aluminium panels to be dark grey.
- 3 Curtain wall glazing
- 4 Opaque glazed balustrades

- 5 Aluminium parapet. Dark grey.
- 6 Dark grey steel railings to match colour of window frames
- 7 Feature brick panel
- 8 Lift overrun
- 9 Dark grey galvanised mild steel.
- 10 Opaque glazed window
- 11 Sheet metal roof

NORTH POINT:

KEY PLAN:

++
++
PLUSARCHITECTURE
Chancery Lane, Dublin 8, D08 C96X, Ireland.
www.plusarchitecture.ie T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code:	Pjct No:	Drawn/Checked By:	Scale	Size
MAH	480	AB/ GW	1 : 100	A1L
Issue Type: Planning				
Status:	Rev. No.:	Date:		
A0	P00	15/04/2025		

Project: Cluid Mahon
Title: North & South Elevation
Drawing No.: MAH-PLA-ZZ-ZZ-DR-AR-04001



3 EAST ELEVATION
1 : 100



4 EAST ELEVATION BLOCK A
1 : 100



5 WEST ELEVATION
1 : 100

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING IF IN DOUBT ASK	REV.	DATE:	DETAILS:	INITIALS:	NOTES: 1 Pale red brick. Ibstock Old English Birtley Buff 2 Full height clear glazed window with feature operable solid spandrel panels in aluminium. Frames and aluminium panels to be dark grey. 3 Curtain wall glazing 4 Opaque glazed balustrades 5 Aluminium parapet. Dark grey. 6 Dark grey steel railings to match colour of window frames 7 Feature brick panel 8 Lift overrun 9 Dark grey galvanised mild steel. 10 Opaque glazed window 11 Sheet metal roof	NORTH POINT:	KEY PLAN:	<div><div>++ ++</div><div>PLUSARCHITECTURE</div><div>Chancery Lane, Dublin 8, D08 C98X, Ireland. www.plusarchitecture.ie</div><div>T: 353 (0) 1 521 3378</div></div>	Code:	Pjct No:	Drawn/Checked By:	Scale:	Size:	Project:
	P00	15/04/2025	Issued for Planning						MAH	480	AB/ GW	1 : 100	A1L	Clúid Mahon
									Issue Type: Planning					Title:
									Status:	Rev. No.:	Date:	Drawing No.:		
									A0	P00	15/04/2025	MAH-PLA-ZZ-ZZ-DR-AR-04002		



1 Section A
1 : 100



2 Section B
1 : 100

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:
LEGEND
— Site Boundary Line
— Land Ownership Boundary
--- Denotes line of existing ground

NORTH POINT:	KEY PLAN:

PLUS ARCHITECTURE
Chancery Lane, Dublin 8, D08 C96X, Ireland.
www.plusarchitecture.ie T: 353 (0) 1 521 3378
Client: Cluid Housing

Code:	Pjct No:	Drawn/Checked By:	Scale	Size
MAH	480	AB/ GW	1 : 100	A1L
Issue Type: Planning				
Status:	Rev. No.:	Date:		
A0	P00	15/04/2025		

Project: Cluid Mahon
Title: Section A & B
Drawing No.: MAH-PLA-ZZ-ZZ-DR-AR-05001



3 Section C
1 : 100



4 Section D
1 : 100

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING. IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:

- LEGEND**
- Site Boundary Line
 - Land Ownership Boundary
 - Denotes line of existing ground

NORTH POINT:

KEY PLAN:

PLUSARCHITECTURE

Chancery Lane, Dublin 8, D08 C98X, Ireland.
www.plusarchitecture.ie T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code:	Pjct No:	Drawn/Checked By:	Scale	Size
MAH	480	AB/ GW	1 : 100	A1L
Issue Type: Planning				
Status:	Rev. No.:	Date:		
A0	P00	15/04/2025		

Project: Clúid Mahon	Title: Section C & D
Drawing No.:	MAH-PLA-ZZ-ZZ-DR-AR-05002



5 Section E
1 : 100



6 Section F
1 : 100

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:
LEGEND
— Site Boundary Line
— Land Ownership Boundary
- - - Denotes line of existing ground

NORTH POINT:
KEY PLAN:

++
++
++

PLUSARCHITECTURE

Chancery Lane, Dublin 8, D08 C98X, Ireland.

www.plusarchitecture.ie

T: 353 (0) 1 521 3378

Client:

Cluid Housing

Code:	Pjct No:	Drawn/Checked By:	Scale	Size
MAH	480	AB/ GW	1 : 100	A1L
Issue Type:				
Planning				
Status:	Rev. No.:	Date:		
A0	P00	15/04/2025		

Project:	Cluid Mahon
Title:	Section E & F
Drawing No.:	MAH-PLA-ZZ-ZZ-DR-AR-05003



1 Site Section 1
1 : 250



2 Site Section 2
1 : 250

Copyright of this drawing is vested in the Architect and it must not be copied or reproduced without consent. Figured dimensions only are to be taken from this drawing. All contractors must visit site and be responsible for taking and checking all dimensions relative their work. PLUS Architecture are to be advised of any variation between drawings and site conditions. DO NOT SCALE OFF THIS DRAWING IF IN DOUBT ASK

REV.	DATE:	DETAILS:	INITIALS:
P00	15/04/2025	Issued for Planning	

NOTES:
— Site Boundary Line
— Land Ownership Boundary

NORTH POINT:	KEY PLAN:

++
++
++

PLUSARCHITECTURE

Chancery Lane, Dublin 8, D08 C98X, Ireland.
www.plusarchitecture.ie

T: 353 (0) 1 521 3378

Client:
Cluid Housing

Code:	Pjct No:	Drawn/Checked By:	Scale	Size
MAH	480	AB/ GW	1 : 250	A1L
Issue Type:				
Planning				
Status:	Rev. No.:	Date:		
A0	P00	15/04/2025		

Project:	Clúid Mahon
Title:	Site Section
Drawing No.:	MAH-PLA-ZZ-ZZ-DR-AR-05004



ANNEXE B

3D IMPRESSIONS











ANNEXE C

Correspondance with Gas Network
Ireland

From: DIG <Dig@gasnetworks.ie>
Sent: Wednesday 30 April 2025 11:43
To: Donal Commene <DCommene@enx.ie>
Cc: Process Safety <ProcessSafety@gasnetworks.ie>; Brendan Creedon | IPEC <brendan@ipec.ie>
Subject: FW: DBYD_Tx_25891_29042025144643

*** [CONFIDENTIAL] ***

Donal,

You recently downloaded a GNI Drawing as attached. The Gas Transmission Pipeline in the general area of interest to you is shown, in **RED**, on such. Please treat all Gas Networks Ireland Drawings as 'indicative' only.

The Gas Distribution Network in the vicinity is shown, in **GREEN** and/or in **BLUE** on the drawing attached. Please refer to the previously received Safety Advice Booklet for guidance on working in the vicinity of this infrastructure.

Please forward details of any proposed works to Dig@gasnetworks.ie to enable us determine the impact such might have on the GNI Networks.

To verify the in situ position of the Gas Transmission Pipeline please contact Brendan Creedon, brendan@ipec.ie. All work in the vicinity of a Gas Transmission Pipeline must be completed in compliance with the previously received 'Code of Practice 2021'.

The Gas Transmission Pipelines exist within Gas Networks Ireland Wayleaves. No excavation may take place within any such Wayleave unless consent, in the form of a valid Excavation Permit, has been granted by Gas Networks Ireland. Brendan Creedon will issue this permit once all conditions for excavations have been met.

Regards,
Georgina

From: No Reply <NoReply@notify.gasnetworks.ie>
Sent: Tuesday 29 April 2025 15:47
To: dcommene@morleywalsh.com
Subject: DBYD_Tx_25891_29042025144643

CAUTION: This email originated from outside of your organisation. Do not click links or open attachments unless you recognise the sender and are sure that the content is safe.

Thank you for your enquiry on the Gas Networks Ireland **Online Dial Before You Dig** service, please find the attached network map for your area of interest.

Gas Networks Ireland has **Transmission & Distribution Gas Network** within your area of interest.

Before you start work, you must have a current gas network map (or maps) for the work location. A current gas network map (or maps) must always be kept on site while work is under way.

Reading your Map

- High pressure transmission gas pipe is shown **Red**.
- Medium pressure distribution gas pipe is shown **Blue**.
- Low Pressure distribution gas pipe is shown **Green**.
- Strategic distribution gas pipe is highlighted with a buffer.

The gas network map is indicative only. You must conform to the safety and legal notices printed on the map. For further information on reading this map refer to the **Safety Information** below.

Breaking Ground

Transmission Network

- **Supervision by Gas Networks Ireland is required when working in the vicinity of Transmission gas pipes.**
- **If your intended excavation is within 10 m of the Transmission Network, work must not proceed until Gas Networks Ireland has been consulted on 1800 42 77 47. If in doubt, contact Gas Networks Ireland.**
- **Gas Networks Ireland will advise you on the safety measures required and will arrange for the exact location of the pipe to be marked out on site.**

- No excavation may take place within the wayleave of a transmission pipeline without a valid permit issued by Gas Networks Ireland.
- All work in the vicinity of a gas transmission pipeline must be carried out in compliance with:
 - Gas Networks Ireland, *Code of Practice for Working in the Vicinity of Transmission Network*.
 - Health and Safety Authority, *Code of Practice for Avoiding Danger from Underground Services*.

Distribution Network

- Supervision by Gas Networks Ireland is not required when working in the vicinity of Distribution gas pipes, unless highlighted as a Strategic Distribution asset. Safe digging practices must be followed. All work in the vicinity of a gas distribution network must be carried out in compliance with:
 - Health and Safety Authority, *Code of Practice for Avoiding Danger from Underground Services*.

Aurora Telecom

- Part of the Aurora Telecom Network may be present on your network map. For further information, Aurora can be contacted on 01 892 6166 (Office Hours) or auroralink@gasnetworks.ie.

Service Pipes

- Service pipes feeding individual properties are not generally shown but their presence should always be anticipated. For further information on domestic gas services refer to the Safety Information.

Safety Information

- Before starting work any work in the vicinity of the gas network, please refer to the Gas Networks Ireland safety booklet, Safety advice for working in the vicinity of natural gas pipelines, available at <https://www.gasnetworks.ie/home/safety/dial-before-you-dig/>

This booklet contains important safety information, including advice on how to read the gas network maps you have requested.

Map enquiry details

- Full Name: Donal Commane
- Phone Number: 0879676805
- Email: dcommane@morleywalsh.com
- Reference ID: 25891_29042025144643
- Custom Reference: test

If you did not request this map, please contact Customer Service on 1800 42 77 47.

T 1800 20 50 50 (Emergency)

T 1800 42 77 47 (Dial Before You Dig enquiries)

E dig@gasnetworks.ie

Gas Networks Ireland Networks Services Centre, St. Margaret's Road, Finglas, D11 Y895 [gasnetworks.ie](https://www.gasnetworks.ie) | Find us on [Twitter](#)



Useful Publications

- Health and Safety Authority, Code of Practice for Avoiding Danger from Underground Services
- Health and Safety Authority, Guide to Safety in Excavations

Both are available free of charge from: Health and Safety Authority on 0818 289 389 www.hsa.ie

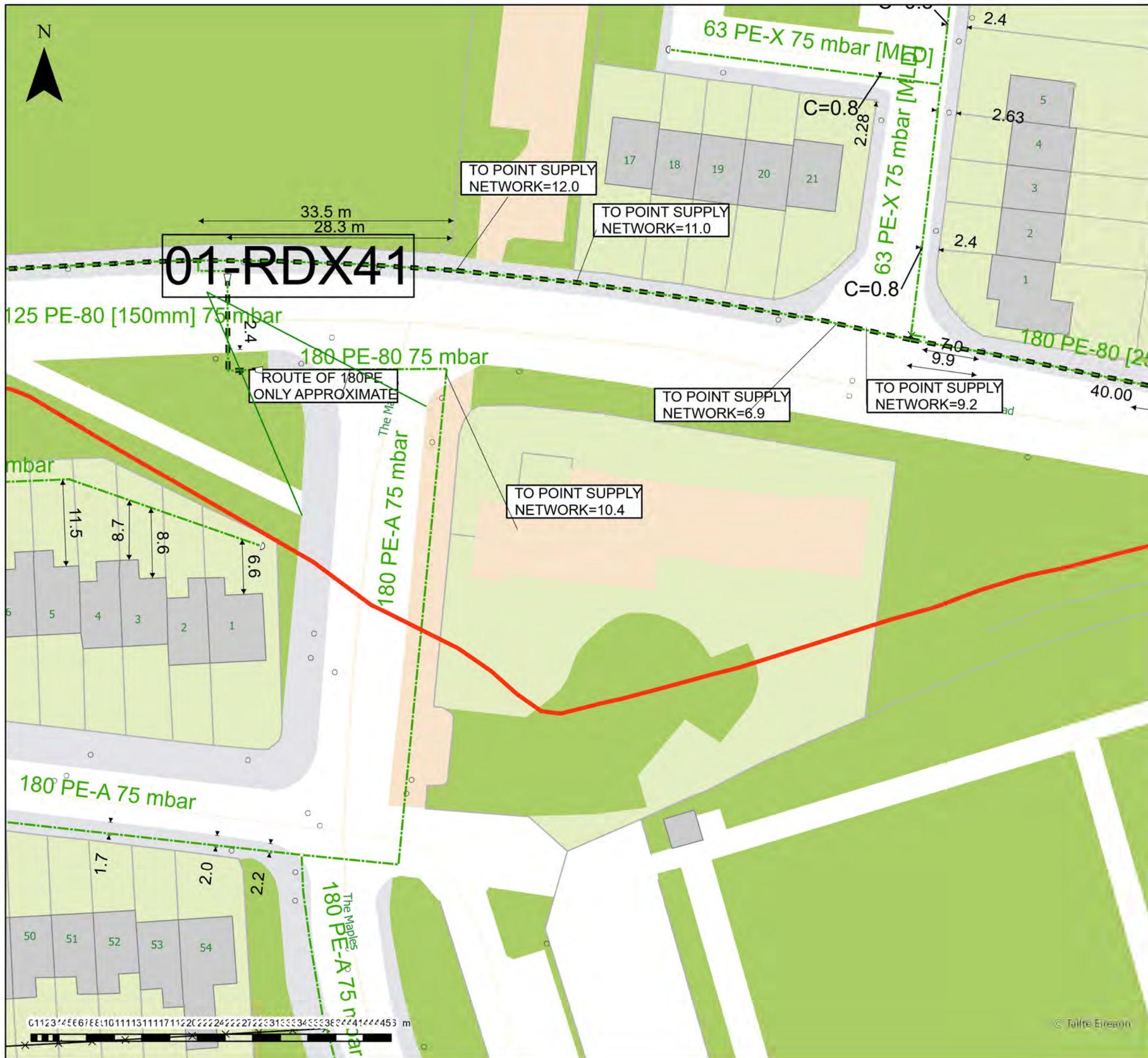
Tá an fhaisnéis á seachadadh dírithe ar an duine nó ar an eintiteas chuig a bhfuil sí seolta amháin agus féadfar ábhar faoi rún, faoi phribhléid nó ábhar atá fogair ó thaobh tráchtála de a bheith mar chuid de. Tá aon athsheachadadh nó scaipeadh den fhaisnéis, aon athbhreithniú ar nó aon úsáid eile a bhaint as, nó aon ghníomh a dhéantar ag brath ar an bhfaisnéis seo ag daoine nó ag eintitis nach dóibh siúd an fhaisnéis seo, toirimisce agus féadfar é a bheith neamhdhleathach. Níl Líonraí Gáis Éireann faoi dhliteanas maidir le seachadadh iomlán agus ceart na faisnéise sa chumarsáid seo nó maidir le haon mhoill a bhaineann léi. Ní ghlacann Líonraí Gáis Éireann le haon dliteanas faoi ghnímh nó faoi iarmhairtí bunaithe ar úsáid thoirmisce na faisnéise seo. Níl Líonraí Gáis Éireann faoi dhliteanas maidir le seachadadh ceart agus iomlán na faisnéise sa chumarsáid seo nó maidir le haon mhoill a bhaineann léi. Má fuair tú an teachtaireacht seo in earráid, más é do thoil é, déan teagmháil leis an seoltóir agus scrios an t-ábhar ó gach aon ríomhaire.

Féadfar ríomhphost a bheith soghabhálach i leith truaillithe, idircheaptha agus i leith leasaithe neamhúdairithe. Ní ghlacann Líonraí Gáis Éireann le haon fhreagracht as athruithe nó as idircheapadh a rinneadh ar an ríomhphost seo i ndiaidh é a sheoladh nó as aon dochar do chórais na bhfaighteoirí déanta ag an teachtaireacht seo nó ag a ceangaltáin. Más é do thoil é, tabhair faoi deara chomh maith go bhféadfar monatóireacht a dhéanamh ar theachtairreachtaí chuig nó ó Líonraí Gáis Éireann chun comhlíonadh le polasaithe agus le caighdeáin Líonraí Gáis Éireann a chinntiú agus chun ár ngnó a chosaint. Líonraí Gáis Éireann cuideachta ghníomhaíochta ainmnithe, faoi theorainn scaireanna, atá corpraithe in Éirinn leis an uimhir chláráithe 555744 agus a tá holfig chláráithe ag Bóthar na nOibreacha Gáis, Corcaigh, T12 RX96.

Go raibh maith agat as d'aird a thabhairt.

The information transmitted is intended only for the person or entity to which it is addressed and may contain confidential, commercially sensitive and/or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon, this information by persons or entities other than the intended recipient is prohibited and may be unlawful. Gas Networks Ireland accepts no liability for actions or effects based on the prohibited usage of this information. Gas Networks Ireland is neither liable for the proper and complete transmission of the information contained in this communication nor for any delay in its receipt. If you received this in error, please contact the sender and delete the material from any computer. E-Mail may be susceptible to data corruption, interception and unauthorized amendment. Gas Networks Ireland accepts no responsibility for changes to or interception of this e-mail after it was sent or for any damage to the recipients systems or data caused by this message or its attachments. Please also note that messages to or from Gas Networks Ireland may be monitored to ensure compliance with Gas Networks Ireland's policies and standards and to protect our business. Gas Networks Ireland a designated activity company, limited by shares, incorporated in Ireland with registered number 555744 and having its registered office at Gasworks Road, Cork, T12 RX96.

Thank you for your attention.



Important Safety Notice: Damage to gas pipelines can result in serious injury or death. Gas network information is provided as a general guide. The exact location and depth of medium or low pressure distribution gas pipes must be verified on site by carrying out necessary investigations, including, for example, hand digging trial holes along the route of the pipe. Service pipes are not generally shown but their presence should always be anticipated.

High pressure transmission pipelines are shown in red. If a transmission pipeline is identified within 10m of any intended excavations then work must not proceed before GNI has been consulted. The true location and depth of a transmission pipeline must be verified on site by a representative of GNI. Contact can be made through 1800 427 747.

All work in the vicinity of the gas network must be completed in accordance with the current edition of the Health and Safety Authority publication, 'Code of Practice For Avoiding Danger From Underground Services' which is available from the Health and Safety Authority (0818 289 389) or can be downloaded at www.hsa.ie.

Legal Notice: Gas Networks Ireland (GNI) and its affiliates, accept no responsibility for the accuracy of any information contained in this document including data concerning location and technical designation of the gas distribution and transmission network (the 'Information'). The Information should not be relied on for accurate distance or depth of cover measurements.

Any representations and warranties, express or implied, are excluded to the fullest extent permitted by law. No liability shall be accepted for any loss or damage including, without limitation, direct, indirect or consequential loss, arising out of or in connection with the use or re-use of the Information.

Reproduced from the Ordnance Survey by permission of the Government.
Licence No. 3-3-34

Aurora Telecom Duct
Aurora Telecom Sub Duct
Aurora Telecom Inserted Gas Pipe



Aurora Telecom Queries - 01-8926166 (Office Hours)
Aurora_Network_Queries@gasnetworks.ie
Aurora Telecom Emergency Only 1800 427399 / 01 2030120

- Transmission Pipe (High Pressure)
- Transmission Pipe (Construction Issue)
- Distribution Pipe (Medium Pressure)
- Distribution Pipe (Low Pressure)
- Service Pipe (Medium Pressure)
- Service Pipe (Low Pressure)
- Strategic Pipe (Medium Pressure)
- Strategic Pipe (Low Pressure)
- Inserted
- Abandoned Pipe

- C=? Cover (depth in metres)
- CP Test Point
- End Cap
- Hot Tap
- Installation
- Valve
- Mains Verification**
- Pressure Monitor
- Protection (Slabbing)
- Protection (Sleeve)
- Reducer
- Service Terminator
- Tee
- Transition

** Please contact GNI on 1800-427747 for specific information



GAS NETWORK INFORMATION

Description:	test
Location:	572485,571019
Plot Date:	29/04/2025 14:46
Plotted By:	25891
Scale:	500 @ A3
Ref ID:	25891_29042025144643