

Planning Statement of Consistency with Development Plan Objectives



Blarney Town Centre
Former Blarney Park Hotel Site



1.0 Introduction

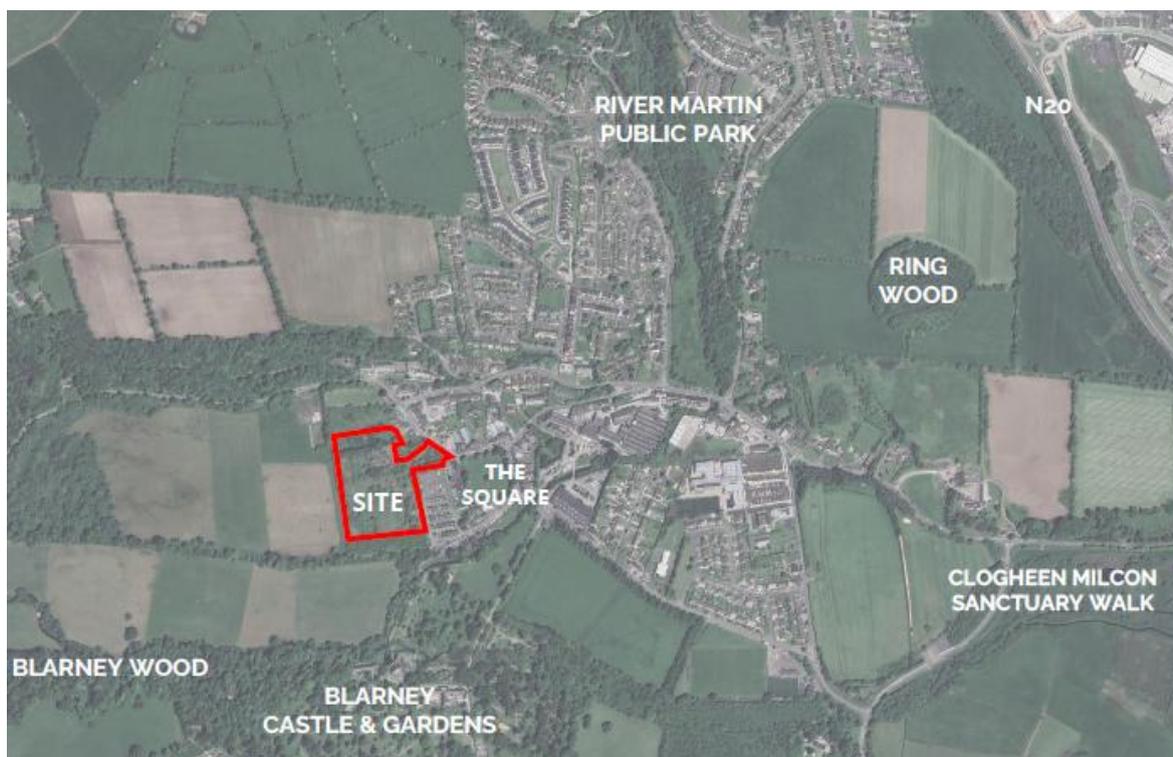
HRP Construction Limited in association with Cork City Council seek planning permission for the development of a new residential and community scheme at the site of the former Blarney Park Hotel. This report sets out how the proposed development is consistent with the objectives of the *Cork City Development Plan 2022-2028*.

1.1 Site Location and Description

The subject site is situated to the west of Blarney Town Centre with the site access on St. Ann's Rd where bus stops, shops and other facilities are located. The site is situated in close proximity to a range of public amenities such as retail shops, supermarkets and public parks. A 5 minute drive away to the east is Blarney Business Park.

The total site area comprises 3.7 hectares. Currently the site is vacant following the demolition of a dilapidated hotel. The south and west of the site is bounded by green agricultural fields, to the east there is an existing car park and located to the north-east of the site is St. Ann's Road. Located further south is the grounds of Blarney Castle. The existing boundaries consist mainly of hedgerows and trees.

The site is located adjacent to Blarney Town Centre, an area rich in history and different historic architectural languages. The proposed development ties-in with this peculiar context and adapts it to the modern time. The proposed development looks at this unique spirit of the place which is made up by the local architecture impression and it is a modern reinterpretation of the historic villages and towns. The ambition is to recreate those livable and blossoming neighbourhoods characterised by a distinctive architectural language and by a well-designed layout. In addition to this, the proposed layout takes advantages of the existing natural features, such as trees and hedgerows, to create an unmistakable identity.



Aerial view of the subject lands in the context of the town of Blarney and its key surrounding characteristics

2.0 Development Plan Objectives

Following a review of the Development Plan, the following development plan objectives that relate to the proposed development and a comment on how they are complied with are presented.

2.1 Objective 2.14: Walkable Neighbourhoods

How the scheme is compliant: The design prioritises pedestrian and cyclist movement with a permeable network of desire-line pathways and recreational routes that connect open spaces and facilitate future links to the wider area. The development is served by an existing high-frequency bus service [215 at the entrance] and a proposed new bus route as part of Bus Connect is proposed, with future pedestrian and cycle links planned for a proposed new rail station and Park & Ride facility proposed as part of CMATS will all be connected to the subject site by good pedestrian and cycle links. The scheme has been designed using Universal Design principles to be accessible and usable by the widest range of people.

2.2 Objective 2.17: Neighbourhood Design

How the scheme is compliant: The development is organised into a number of character areas, defined by varied housing typologies and architectural treatments, to create a sense of community and assimilate into the local context. The public realm is enhanced through a hierarchy of open spaces, including landscaped parkland, linear walk, and shared surfaces.

2.3 Objective 2.31: Compact Growth

How the scheme is compliant: The location of the site on the urban periphery of Cork City and the compact, efficient layout of the proposed development contribute to achieving sustainable, compact growth in line with strategic policy. The site is on the site of the former Blarney Park Hotel and is within the development boundary of the town and is essentially infill which aligns with the principles of compact growth.

2.4 Objective 3.1: Planning for Sustainable Neighbourhoods

How the scheme is compliant: Placemaking is central to the design, creating a sense of place through distinctive streetscapes and open spaces. The scheme complies with sustainable residential guidelines and promotes social interaction and outdoor activity through its open spaces and connectivity. The integration with adjacent communities support the creation of a sustainable neighbourhood. The design ensures accessibility for all and incorporates a clear street hierarchy with future connectivity.

2.5 Objective 3.5: Residential Density

How the scheme is compliant: A density of 46 dwellings per hectare is proposed [the site has a developable area of 3hectares], which aligns with the Development Plan's target range for Blarney and national guidelines. The mix of building heights (2-3 storeys) and housing types is responsive to the site's topography, balancing compact development with the existing character.

2.6 Objective 3.6: Housing Mix

How the scheme is compliant: The proposed dwelling mix (8.7% 1-bed, 33.3% 2-bed, 55.1% 3-bed, 2.9% 4-bed) aligns with the Development Plan's targets for an urban town location. The development provides a range of typologies (houses, duplexes, apartments)

2.7 Objective 3.20: Cork City as a Child-Friendly City

How the scheme is compliant: a large number of open space areas, including a large central square and a linear park provide ample opportunities for children's play and social interaction. Shared surfaces and Universal Design principles ensure a safer and more accessible environment for children and all users.

2.8 Objective 3.29: Neighbourhood Recreation and Amenity

How the scheme is compliant: Multiple open spaces, incorporate neighbourhood and local play areas, kick-about spaces, and recreational routes, providing a wide range of formal and informal recreational activities for all residents.

2.9 Objective 3.35: Safe and Secure City

How the scheme is compliant: Dwelling orientation and dual-aspect corner units are designed to overlook open spaces and streets, providing passive surveillance. Active frontages enliven the edges of streets, creating a more engaging and secure environment.

2.10 Objective 4.5: Permeability

How the scheme is compliant: The scheme is characterised by a high degree of permeability for pedestrians and cyclists, with a network of desire-line pathways and recreational routes that connect within the site and to existing and future infrastructure outside the site.

2.11 Objective 5.10: Energy Conservation and Efficiency

How the scheme is compliant: The development will utilise high-performance building materials, including double/triple glazing and thermally broken frames. An air-to-water heat pump system is proposed for each dwelling. All public and amenity lighting will be low-energy, dimmable LED fittings.

2.12 Objective 5.11: Energy Efficiency Considerations

How the scheme is compliant: The energy strategy prioritises passive design benefits through building orientation and fabric, supplemented by highly efficient mechanical and electrical systems to meet the required Renewable Energy Ratio.

2.13 Objective 5.12: Energy Use Management

How the scheme is compliant: A whole-life cycle approach to material selection will be employed to minimise embodied carbon. Principles of reducing, reusing, and recycling will be adopted throughout the project's design, construction, and operational phases

2.14 Objective 5.13: Waste Management

How the scheme is compliant: A Construction, and Environmental Waste Management Plan [CEMP/CEWMP] outlines how construction and operational waste will be managed in compliance with the Waste Management Acts, aiming to maximise recycling and reuse.

2.15 Objective 5.14: Adaptable Design

How the scheme is compliant: Units are designed for adaptability, featuring level access, living rooms at entrance level, potential for vertical/horizontal extension in houses, and internal spaces suitable for wheelchair turning. Ground-floor apartments are fully accessible.

2.16 Objective 5.17: Heat Pumps

How the scheme is compliant: The use of certified air-to-water heat pump systems in each dwelling is

proposed to contribute to renewable energy targets.

2.17 Objective 5.22: Electric Vehicles

How the scheme is compliant: Electric vehicle (EV) charging infrastructure will be provided in line with regulations, to all communal spaces.

2.18 Objective 5.24: Green and Blue Infrastructure

How the scheme is compliant: The scheme incorporates Green Infrastructure through the retention of hedgerows, provision of recreational spaces and pedestrian/cycle links, native planting, and wildlife-friendly features. Blue Infrastructure includes the retention of existing ditches and the use of sustainable drainage.

2.19 Objective 6.6: Rivers, Waterway and Wetlands

How the scheme is compliant: Assessments concluded that the development will not adversely impact the hydrological regime or increase flood risk. An Appropriate Assessment screening determined no significant effects on European designated sites.

2.20 Objective 6.19: City Parks and Open Space Provision

How the scheme is compliant: The development provides minimum 12% of the site as public open space, thereby meeting the requirement. This includes a linear park, central town square park, and play areas. These spaces are overlooked for passive surveillance, and the retention of hedgerows enhances biodiversity.

2.21 Objective 6.22: Natural Heritage and Biodiversity

How the scheme is compliant: Biodiversity is promoted through the retention of existing hedgerows, native and pollinator-friendly planting, the provision of wildlife features like bat and bird boxes, and the integration of Sustainable Urban Drainage Systems (SUDS) that contribute to green and blue infrastructure, please refer to the EclA and AA Screening prepared by Dixon Brosnan Associated.

2.22 Objective 9.2: Waste Water

How the scheme is compliant: Separate foul and surface water drainage systems are proposed. A pre-connection enquiry to Uisce Éireann confirmed the feasibility of connecting to public water and sewer networks.

2.23 Objective 9.4: Sustainable Urban Drainage Systems (SUDS)

How the scheme is compliant: The surface water drainage network is designed using SUDS principles, incorporating permeable paving, attenuation tanks, and the retention of existing vegetation.

2.24 Objective 9.5: Discharging

How the scheme is compliant: The SUDS system is designed to manage surface water runoff quality and quantity, complying with relevant environmental regulations.

2.25 Objective 9.12: Waste Management

How the scheme is compliant: A Waste Management Plan describes how waste will be managed during construction and operation in compliance with legislation, aiming for waste reduction, reuse, and

recycling.

2.26 Objective 9.19: External Lighting

How the scheme is compliant: The public lighting scheme uses low-energy, dimmable LEDs designed to minimise light pollution and impacts on wildlife and residential amenity.

2.27 Objective 11.1: Sustainable Residential Development

How the scheme is compliant: The scheme creates a high-quality place by prioritising walking, cycling, and public transport; providing connection to community facilities; ensuring accessibility; and protecting natural heritage. The permeable layout, mix of uses, and distinct character areas contribute to placemaking and the 10-minute town concept [local version of the 15 minute city concept].



Key amenities and services in proximity to the site

2.28 Objective 11.2: Dwelling Size Mix

How the scheme is compliant: The proposed mix (8.7% 1-bed, 33.3% 2-bed, 55.1% 3-bed, 2.9% 4-bed) aligns with the Development Plan's targets for an urban town location. The development provides a range of typologies (houses, duplexes, apartments). In addition the Housing Quality Assessment submitted by Dedy Gahans shows that in all cases the dwelling sizes meet or exceed the minimum sizes. In addition, there is a large range of unit typologies proposed [21 types] and these all differ in size providing a wide range and mix of dwelling size.

2.29 Objective 11.3: Housing Quality and Standards

How the scheme is compliant: The design creates distinctive streetscapes, ensures passive surveillance, and provides active frontages. All units are double aspect in nature and have excellent access to light owing to positive orientation. Adequate bin and bicycle storage is provided, and a Housing Quality Assessment demonstrates compliance with all spatial standards.

2.30 **Objective 11.5: Private Amenity Space for Houses**

How the scheme is compliant: Private amenity spaces for houses meet or exceed the minimum areas set out in the Sustainable Residential Development and Compact Settlements Guidelines.

2.31 **Paragraph 11.160: Community Infrastructure Assessment (CIA)**

Social and Community Infrastructure Audit

Policy 11.160 of the Cork City Development Plan 2022-2028 mandates that planning applications for 100 or more residential units must include a Community Infrastructure Assessment (CIA). This assessment evaluates the development's impact on local community facilities. If a shortfall in infrastructure is identified, considering existing or planned upgrades in the relevant area, the proposal will be expected to remedy this deficiency, preferably through on-site provision. The timely delivery of community facilities alongside major new housing areas is required. In line with this policy, BON Total Planning Solutions, acting for HRP Construction Limited., has prepared a Social and Community Audit (SCA). It supports an application for residential development at Blarney, Cork – this audit has been furnished to Cork City Council and is summarized as follows.

The CIA aims to review the current capacity and availability of social and community infrastructure near the proposed site. It also projects future needs arising from the population growth expected from the proposed residential scheme. Social and community infrastructure encompasses essential services and facilities that underpin community health, wellbeing, and development. Examples include education, childcare, healthcare (e.g., GP clinics, hospitals), libraries, community centres, local support services, and spaces for sports and recreation. Beyond its practical functions, this infrastructure fosters community interaction, enhances quality of life, promotes social cohesion, and strengthens local identity. Its adequate provision is crucial to serve both the existing community and the new residents from the proposed development, supporting both physical needs and social engagement. This audit aligns with spatial development objectives for Cork City as outlined in relevant national, regional, and local policies. The findings are based on desktop research and several site visits conducted in 2023 and 2024.

Relevant Policies/Documents

"Quality Housing for Sustainable Communities - Best Practice Guidelines" (2007) establish principles and criteria for housing design aimed at creating sustainable and inclusive communities. These Guidelines describe a sustainable neighbourhood as an area characterized by the efficient use of land, high-quality urban design, and the well-coordinated provision of physical and social infrastructure, including public transport, schools, amenities, and other facilities, to create desirable places to live.

"Provision of Schools and the Planning System – A Code of Practice for Planning Authorities" (2008) outlines established best practices for planning authorities. Its goal is to ensure the planning system effectively supports the Department of Education and Science in delivering school infrastructure in a timely and cost-efficient manner, while adhering to principles of proper planning and sustainable development.

The Code identifies three primary objectives for the future planning and delivery of schools:

1. The integration of schools as a fundamental component in fostering compact, sustainable urban development and sustainable communities.
2. The use of a coordinated strategy between planning authorities and the Department of Education and Science to guide the establishment of new primary and post-primary schools.
3. The commitment of local planning authorities to collaborate with and assist the Department in

securing school sites in a timely fashion.

The National Planning Framework (2018) is the Government's high-level strategic plan for shaping the future growth and development of the country to 2040. It acknowledges that the planning of future development in Ireland will remain a major factor in determining people's quality of life.

Several National Strategic Outcomes directly target improving quality of life, including Compact Growth, Sustainable Mobility, Enhanced Amenity and Heritage, and Access to Quality Childcare, Education and Health Services.

Furthermore, specific National Policy Objectives support this aim. Objective 4 focuses on creating attractive, liveable, and well-designed urban places that foster diverse, integrated communities and enable a high quality of life. Objective 28 plans for a more diverse and socially inclusive society that promotes equality of opportunity and a better quality of life for all through improved integration and accessibility in communities and services. Objective 33 prioritises building new homes in locations that support sustainable development and are of an appropriate scale for their setting.

The Sustainable Residential Development and Compact Growth Guidelines for Planning Authorities (2024) establish policy and guidance for the planning and development of urban and rural settlements. They emphasize sustainable residential development and the creation of compact communities. These guidelines specify that suitable locations for higher-density residential development, which can foster sustainable and inclusive communities, are those characterized by good planning, effective management, and the presence of necessary social infrastructure.

Cork City Development Plan 2022-2028 The Cork City Development Plan includes key objectives to support the provision of social and community infrastructure.

Objective 2.10 Mix of Uses

Support the delivery of a diverse mix of suitable uses that enhance Cork City's network of neighbourhoods, towns, and communities as places to live, work, provide care, learn, and enjoy.

Objective 2.12 Walkable Neighbourhoods

New development shall be designed to make positive additions to their neighbourhoods, towns, and communities by:

- a. Delivering the right mix of uses at a scale and design that creates high-quality buildings and spaces.
- b. Creating attractive, safe, and vibrant places designed at a human scale (i.e., places that relate to people, streetscapes, and local character) with active streets and avoiding the creation of "dead" spaces.
- c. Ensuring a child-friendly and age-friendly environment, applying Universal Design principles with a mix of household types.
- d. Designing a safe place that enables access for all.
- e. Creating a healthy neighbourhood with increased urban greening and direct access to high-quality parks and public spaces, schools, shops, and local services.
- f. Being well-connected with easy access to public transport and active travel.
- g. Providing enhanced permeability for walking and cycling.

Objective 2.14 Neighbourhood Mix

Promote high-quality neighbourhoods by increasing the range of community, recreational, local enterprise, cultural, and leisure-related facilities.

Objective 3.21 states that, in the case of residential development proposals in excess of 75 dwellings, the development of purpose-built childcare facilities will generally be required.

Objective 2.23 Quality of Life

Cork City Council will evaluate and track key factors that affect quality of life as part of its planning for future population growth. This process will focus on enhancements to the built environment, local community facilities, educational opportunities, shorter average travel distances, and richer cultural offerings. These improvements are intended to make the city more attractive to residents, workers, students, and visitors.

Objective 3.1 Planning for Sustainable Neighbourhoods

Cork City Council will seek to:

- a. Develop sustainable neighbourhoods by using the defined areas of Urban Towns, Hinterland Villages, and City Neighbourhoods as planning units, guided by the 15-Minute City model.
- b. Mandate that all development proposals are fundamentally centred on placemaking, with clear evidence of how they prioritise neighbourhood cohesion, health, wellbeing, and overall enhancement.
- c. Guide community planning according to the principles of 'Sustainable Residential Development in Urban Areas', the related 'Urban Design Manual – A Best Practice Guide', Universal Design Principles, and subsequent revisions.
- d. Guarantee that residential developments in new Sustainable Neighbourhoods are delivered alongside the necessary supporting local infrastructure, as an essential and integrated part of the development.
- e. Foster the creation of living environments that are both healthy and appealing, aligning with National Policy Objective 4 and the Sustainable Place Framework Goal 3.

Objective 3.14 Community Infrastructure and Services

To collaborate with local communities and service providers to enable the establishment of a variety of community facilities across the city that are easy to access, inclusive, versatile, and serve diverse functions.

Objective 3.17 Community Hubs

To encourage the combined use and shared location of community, business, recreational, and green space facilities. The aim is to establish larger, integrated community hubs in accessible locations served by walking, cycling, and public transport, provided this does not cause major negative effects on the local area.

Objective 3.21 Childcare Facilities

To facilitate the availability and growth of high-standard childcare services across the city. The Council will:

- a. Make it a requirement for new housing developments of over 75 units to include dedicated childcare facilities. Exceptions may be considered if it can be convincingly shown that adequate provision already exists nearby.

Objective 6.20 Active Recreational Infrastructure

To guarantee that every resident can reach local-scale outdoor and indoor sports, recreation, and play facilities within or near their own neighbourhood.

To mandate that new housing developments of more than 10 units, along with other major projects,

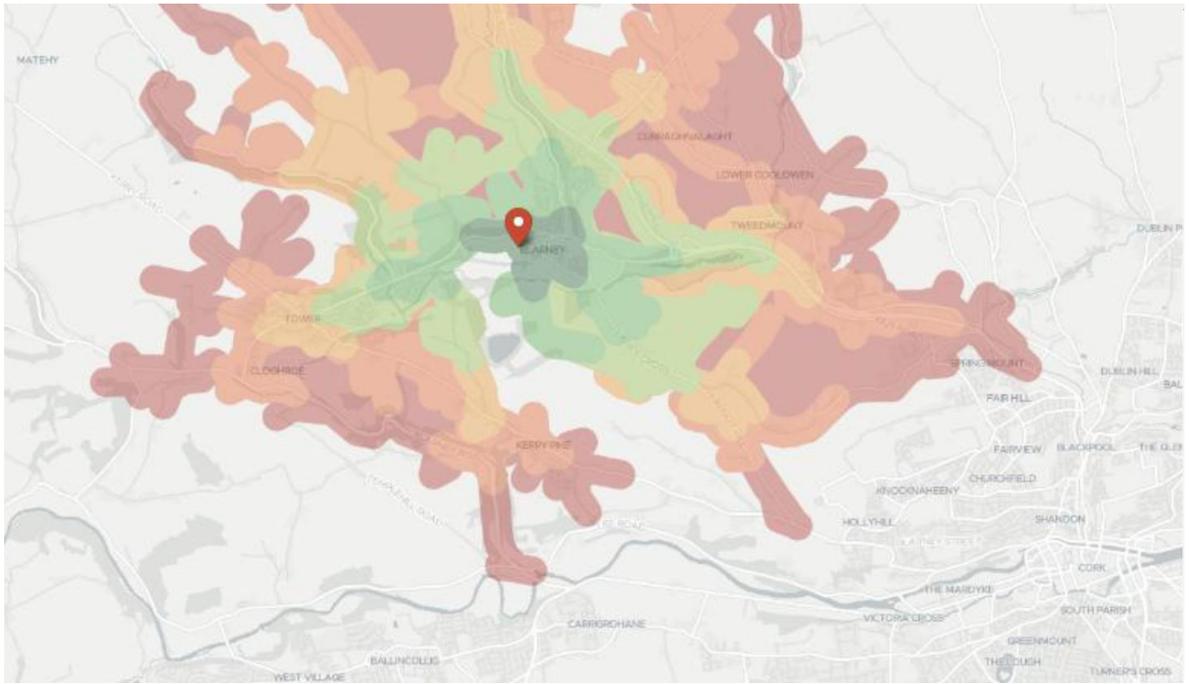
provide suitable active recreation facilities to directly meet the needs arising from that development.

Catchment/Study Area

The subject site, which comprises the former Blarney Park Hotel, occupies a location to the east of Blarney town centre and to the northwest of Cork City, situating it firmly within the Cork Metropolitan Area. For the purposes of this Social and Community Infrastructure Assessment (CIA), a thorough analysis of the existing demographic profile within the site's immediate environs and the social and community infrastructure serving that population is deemed essential. The defined catchment area for this assessment, as illustrated in the accompanying graphic, is established as a 2-kilometre radius from the site. This metric is widely accepted in planning practice as representing the realistic distance individuals are prepared to travel, predominantly via sustainable modes such as walking, cycling, or public transport, to access day-to-day amenities and services. Consequently, this 2-kilometre zone constitutes the primary and most direct area of influence for the proposed development.

Nevertheless, the strategic position of Blarney and, by extension, the subject site, in relation to major urban nodes must be acknowledged. Its close proximity to both Cork City Centre and the District Centre of Blackpool significantly expands the available social and community infrastructure for residents. Public transport connectivity substantiates this relationship: utilizing the 215 bus route, the site is currently within a 30-minute journey time of Cork City Centre and a 20-minute journey time of Blackpool, with these durations incorporating the requisite pedestrian access from the site to the bus stop located on the R617.

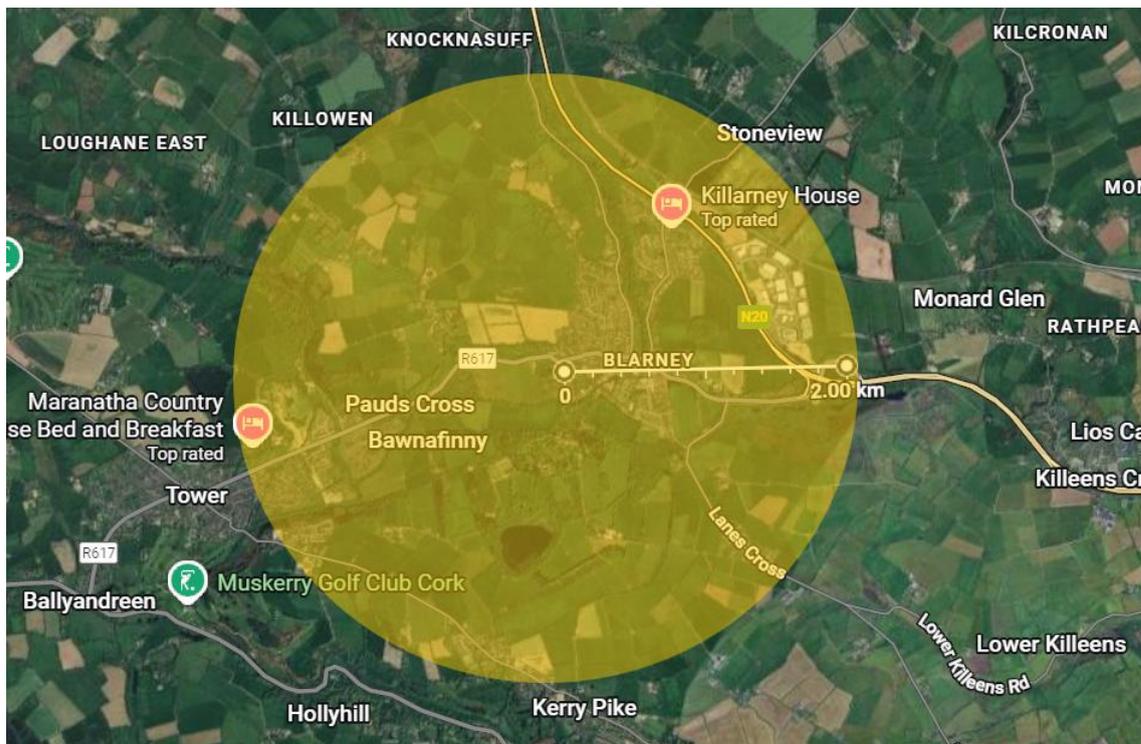
It is therefore highly probable that the existing population of Blarney routinely utilises the higher-order facilities available in these centres. This includes access to large-scale convenience and comparative retail outlets, cultural venues such as cinemas and arts theatres, a comprehensive range of primary and tertiary healthcare services including Cork University Hospital, and third-level educational institutions. Furthermore, in the context of employment, it is very likely that a considerable proportion of Blarney's current resident workforce commutes daily to positions within Cork City Centre, Blackpool, and other employment hubs within the metropolitan area, a pattern that underscores the site's integration within the wider functional region of Cork City.



30 mins cycle distance from the site [almost to Cork City centre]



circa 1km walkband



2km walkband

Age Bracket	Population 2022	% of Population
0-4	176	6.3%
5-9	199	7.2%
10-14	193	6.9%
15-19	141	5.1%
20-24	158	5.7%
25-34	315	11.3%
35-44	447	16.1%
45-54	388	14%
55-64	277	9.9%
65+	485	17.5%

Population Profile 2022 Census

Overview and How the scheme is compliant:

Community, Healthcare and Social Services

There are no national, regional, or local standards regarding the provision of social and community facilities and services. Blarney Community Services operates from the Blarney Community Centre, located at Church Hill, Blarney. This centre acts as a hub for many local activities and services.

The Blarney Library, situated on the Square, is not only a lending library but also a community space offering free internet access, classes, and children's story time sessions, the building is too small [900sqft]and not fit for purpose and the proposed scheme as such will provide a considerable planning gain considering the building serves as a lot more than a library and the facilities that are currently offered there are constrained by its restricted size. These services can grow in tandem with the growth of the Library offering as the new civic centre will be larger in size and naturally some of the services being provided in the currently small library building will relocate to the new larger building and be capable of servicing a larger number of people in the community.

The healthcare provision in Blarney is centered around local general practice provided by the Blarney Medical Centre, located centrally on The Square and Tower Medical Centre. This practice operates as a

group practice, housing multiple General Practitioners (GPs). The exact number of GPs can fluctuate due to partnerships and retirements, but primarily the practice has on four full-time equivalent GPs. The practice typically offers a range of standard GP services including chronic disease management, minor procedures, childhood immunizations, and preventative health checks. Tower Medical Centre is located in Tower village. The centre is purpose built and opened in 1997.. There are 6 GPs in the centre. In addition there are four Practice Nurses. Adjacent to the Medical Centre is the Blarney Pharmacy, also on The Square, which provides prescription services, over-the-counter advice, and health screenings such as blood pressure monitoring. There is also a second pharmacy in the Shopping Centre. There is 1no. Physiotherapist. There is also an Optician. For dental care, there is a dental practice located on the College Road side of the village and a second dentist, is located in Unit 2A, Blarney Shopping Centre.

Primary Care support services, such as Public Health Nursing, Physiotherapy, and Occupational Therapy, are provided by the Health Service Executive (HSE) and are often delivered through appointments at the local health centre [the community welfare officer is also based there] or via community visits. The nearest dedicated HSE Primary Care Centre is located in the neighbouring suburb of Gurrabraher in Cork city, which serves a wider catchment area including Blarney. Assessing the provision relative to the population requires considering both Blarney town and its significant rural catchment. The 2022 Census recorded the population of the Blarney Electoral Division as approximately 8,500 people. Using a ratio of one GP per approximately 1,600 patients is a common benchmark in Ireland, though many areas operate above this ratio. With 10 GPs serving a population of 8,500, the ratio in Blarney would range from approximately 1:850.

Support Services and Meetings

For addiction support, Alcoholics Anonymous meetings are held regularly in the locality. One longstanding meeting takes place in the Blarney Community Centre on Church Hill on Monday evenings. It is an open meeting. Another meeting is held in the Parish Centre on Saturday evenings. For family support, the Blarney Family Resource Centre, located at Stoneview, Killard, Blarney, offers counseling, parenting programs, and family support services.

Clubs, Hobbies, and Sports Activities

Blarney GAA Club is a central sporting and social institution. Their grounds, Blarney GAA Park, are located at Murphy's Farm, Stoneview. The club fields teams in hurling, Gaelic football, and camogie for all ages. Blarney United Soccer Club has its pitches at O'Shea Park, Cloghroe. Blarney Cricket Club plays at the Cricket Grounds, near the Castle. For golf, Blarney Golf Resort is located at Shanakiel, Blarney, and offers a championship course. Blarney Castle Golf Club is a separate, community-focused club situated at The Hundred Acre, Cloghroe. Blarney Rugby Club plays at Ballyvara, Cloghroe. The Blarney Athletic Club meets for running and training sessions; information can be found through local social media groups. For martial arts, Blarney Karate Club holds classes in the community centre. The Blarney Badminton Club also uses the community centre courts.

In terms of hobbies and arts, the Blarney Musical Society stages an annual production, rehearsing in the community centre or local school halls. Blarney Garden Club hosts monthly talks, demonstrations, and outings, typically in the Blarney Parish Centre. The Blarney Scout Group, part of Scouting Ireland, meets at their den near the community centre. The Blarney Girl Guides meet at the Guide Hall on Church Hill. Blarney Foróige Club is a youth group for teenagers that meets regularly. The Blarney Woolcraft Group meets for knitting and crochet in Blarney Library on certain afternoons but the library is restricted by its small size as to what it can offer.

Education

The School Demand Assessment has been prepared to accompany an application for 138 no. residential units at lands associated with the Former Blarney Park Hotel site, Blarney Cork. Objective 3.24 of the Cork

City Development Plan 2022-2028 (CDP) states that the Council will: Work closely with the Department of Education and Skills and landowners to ensure that new schools are provided to meet the needs of new residential neighbourhoods at: City Docks; Tivoli Docks; Ballincollig Mag/in; Bal/yvolane; South G/anmire; Blarney; Kilbarry /Blackpool Neighbourhood; and Douglas (Castletreasure).

The proposed scheme consists of of 138 no. residential units comprising 119 no. dwelling houses and 19 no. apartment units

Proposed Housing Mix

Unit Type	4-Bed	3-Bed	2-Bed	1-Bed
Residential Units	4	76	46	12
Total Units	138			

The School Demand Assessment has been prepared to assess whether there will be sufficient capacity locally to cater for future primary and secondary school needs arising from the proposed development.

Demographic Profile: Blarney Town (2022 Census)

Total Population: 3,176 persons.

To align with standard Irish educational stages, the following age cohorts are analyzed:

Cohort A (0-4 years): Pre-School Age

- Population: 156
- Percentage of Total Population: 4.9%
- Demographic Insight: This cohort represents children in their early years, typically in crèche, Montessori, or junior infant classes. It is a key indicator for demand in early childhood care and education (ECCE) schemes.

Cohort B (5-12 years): Primary School Age

- Population: 369
- Percentage of Total Population: 11.6%
- Demographic Insight: This is the core primary school-going population (from Senior Infants to 6th Class). This is a significantly sized cohort, indicating a strong demand for primary school places and related services.

Cohort C (13-18 years): Secondary School Age

- Population: 348
- Percentage of Total Population: 11.0%
- Demographic Insight: This cohort encompasses the full secondary school cycle (1st to 6th year). The size is substantial and very close to the primary cohort, suggesting a consistent pipeline of students transitioning from primary to secondary education in the area.

The combined population (Ages 4-18) of Blarney is 873 persons, expressed as a proportion of the total Blarney Population this constitutes 27.5%. Essentially, over a quarter (27.5%) of Blarney's total population is of an age that directly correlates with demand for state-funded education, from primary school through secondary school leaving certificate. This is also a critical metric for educational planning, infrastructure, and community services.

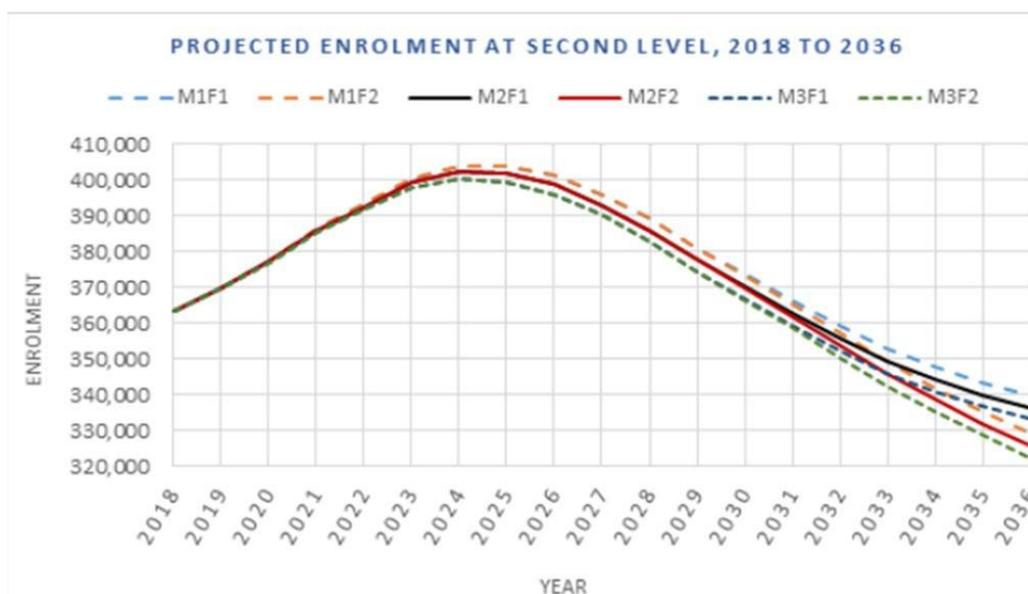
To fully understand the town's structure, it is useful to view the study cohorts within the wider age distribution: Young Working Age (19-44): Approximately 33% of the population. This is the typical age of parents for the school-going cohorts above. Middle & Older Working Age (45-64): Approximately 25%

of the population. Elderly (65+): Approximately 14% of the population. Blarney has a classic "family lifecycle" demographic profile. The high proportions in both the young working age (parents) and the 0-18 cohorts indicate a town with a strong appeal for young and established families. This is consistent with its status as a commuter town for Cork City, offering a blend of suburban and village living.

The data demonstrates a consistent and high demand for educational services across all three stages. The primary and secondary school cohorts are particularly large and nearly equal, requiring ongoing planning for classroom capacity, teaching resources, and school transport.

Based on accurate demographic data pertaining to Blarney an average of 27.5% of the population are of school going age, of the 138 units applying an average household size of 2.7 persons per household the total population likely to be generated as a result of the proposed development is 372 persons. If 27.5% of the population are of school going age that equates to 102 persons of school going age, breaking this down using demographic data the split is roughly 50:50 and so about 50 places are required for each primary and secondary schools respectively.

Based on the Department of Education’s 2018-2036 projections, the secondary school enrolment figures were envisaged to peak in 2024/2025 and decline steadily from there. Similar to the trends for primary schools, a continuous decline in post primary enrolment is then expected from 2015 onwards until 2036.



Projections of Enrolment at Second Level (Source: Projections of Full-Time Enrolment Primary and Second Level 2018-2036 - Department of Education and Skills)

Notwithstanding the projected fall assuming the forecasted maximum future demand for an additional 50 secondary school places arising from the development, based on the fact that there are a number of existing secondary schools within Blarney and the surrounding area an intake of 50 spaces per school across the 6 school years is considered achievable without expansion based on the

Department of Education capacity figures issued. The educational infrastructure appears somewhat robust, with two primary schools and one secondary school, Scoil Mhuire Gan Smal, recently expanded to accommodate up to 1,200 pupils, situated within the immediate catchment and currently has 1130 enrolled pupils. Similarly, the primary school has indicated a capacity for 56 no. spaces and the secondary school has a capacity for 70 no. pupils [see emails in appendix]. Taking into account the other schemes with planning or in the process of planning in Blarney there is a need for new or expanded school facilities and the current facilities cannot accommodate future growth. It is understood that there are plans for new educational infrastructure in Stoneview Blarney – we have reached out to the department in this regard and await a response.

Furthermore, the Department of Education's preliminary projections indicate plans for up to two new or expanded primary schools and one new secondary school in the Blarney area over the next decade, suggesting a proactive approach to accommodating future growth. The proximity to numerous third-level institutions in Cork City, supported by public transport links, further bolsters the educational offering for residents. The schools as well as the department of education were reached out to and the principal of one school confirmed 56 spaces in the next 1-2 years. We are awaiting a definitive response from the department of education in relation to the information on new schools [refer to appendix].

Sports Facilities

The area is well serviced in terms of education and sports facilities. The on-site community café and community library fulfil a local need, as previously mentioned the library in the town is only 900 sq ft and is unperforming and whilst it is good that it does serve the community it could offer an expanded service to those who currently meet there such as the crochet club and woolcraft. A larger library and associated facilities would cater for expanded community services to relocate to. Based on a detailed quantitative analysis, the social and community facilities in Blarney present a picture of a town with an average foundational infrastructure. The age profile of the town, as per the 2022 Census, reveals a relatively balanced but slightly ageing population, with over a quarter of residents aged 55 or older and a quarter under the age of 19. This demographic structure underpins the demand for a wide spectrum of services, from childcare to healthcare.

The area appears underserved in terms of primary healthcare facilities. While a health centre, two GP surgeries, two dental practices, two pharmacies, a physiotherapist, and an optician serve the town, the absence of a primary care centre is notable. It is noted that a new proposal for a primary care centre on lands adjacent to the development site is currently in pre-planning consultations, offering a potential solution to this gap in service.

In contrast, the provision for sports, recreation, and open space is a notable strength of the area. Facilities are diverse and cater to various cohorts, including playing pitches at Blarney GAA Club, a children's woodland park with a multi-use games area and outdoor exercise zone, several amenity walks, and the significant tourist and recreational asset of Blarney Castle and Gardens. The existence of approximately 10 hectares of land zoned for open space to the north east of Blarney further ensures the protection and enhancement of this valuable recreational resource.

Social and community services, including a library, community council, and community centre, are present and, suggest the area is reasonably well-served but the new larger library presents significant opportunity for expansion. The town also supports three centres of religious worship, predominantly Roman Catholic, which aligns with the 76.7% of the town's population identifying as Catholic in the 2022 Census. The library is in a very small building in the village centre and there have long been calls to expand. The proposed scheme along with the community café and community room have potential to address the discernible shortfall which exists in arts and cultural facilities, with only a single art gallery

and the historic castle grounds identified within the catchment. The absence of a theatre or dedicated cultural venue means residents must travel to nearby Blackpool or Cork City centre to access a broader range of such amenities.



Proposed Library and café [internal courtyard view]

For other daily needs, Blarney town centre provides essential retail, hospitality, and professional services, including a post office and credit union, while more extensive shopping and service options are available a short distance away in Blackpool, Ballincollig, and Cork City centre.



Current Library

2.32 Childcare

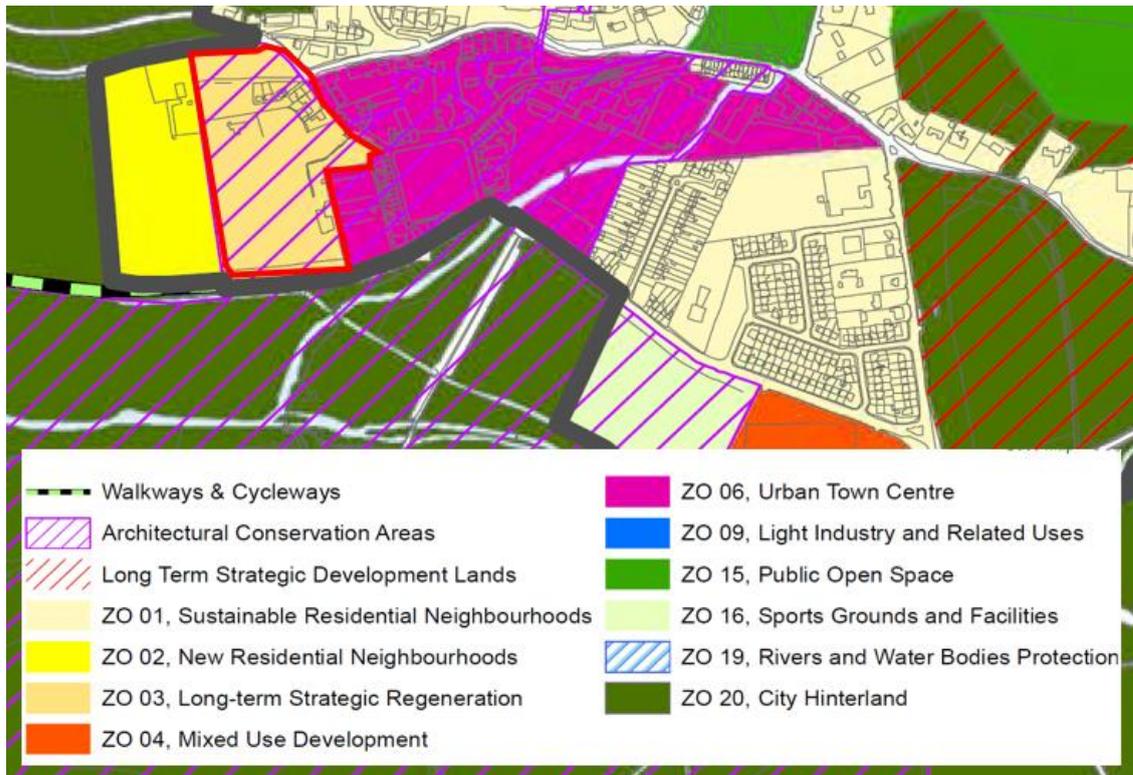
The childcare needs assessment identified a deficit of childcare facilities in the Blarney area, in response to this a childcare facility was added into the proposed scheme and is currently proposed to serve the total need generated by the proposed scheme.

2.33 Car and Bicycle Parking [11.234 & 11.245]

How the scheme is compliant: Car parking is provided in accordance with Development Plan standards, using a mix of within-curtilage, court, and on-street parking. Bicycle parking exceeds standards, with secure, sheltered facilities located close to building entrances.

2.34 Land Use Zoning Objectives

The subject site is zoned **ZO 3 Long Term Strategic Regeneration**, where the objective is: *To provide and promote a mix of residential, employment and other uses in the long term, to ensure the creation of a vibrant, compact and sustainable urban area.* In addition to the zoning the subject site also carries a designation, this designation designates the subject site as being within an architectural conservation area.



Extract from Cork City Development Plan 2022 [site outlined in red]

The purpose of this zone is to promote the development of key sites and large-scale regeneration projects for the development of new employment, housing and supporting infrastructure. The Development Plan States that these sites have a potential to contribute significantly towards the sustainable compact growth of cork city.

How it is compliant: The sustainable compact growth of Cork City is facilitated by this infill brownfield development. The development of the subject lands seek to make the most efficient and sustainable use of land by achieving densities that contribute towards compact growth and encouraging the redevelopment of adjoining residentially zoned land.

The proposed development respects the character and scale of the neighbourhood in which it is situated in a designated ACA also it supports the primary objective of this zone to provide residential uses and to protect residential amenity. James Bourke Architects have carried out a review of the proposed scheme in conservation terms. Gable ended buildings with a hierarchy of forms and stepped plans respond to the building typology encountered in Blarney and to its vernacular heritage. The design and materials look to the reinterpreting of the relevant features and materials of the ACA. The variety in the ridge heights of the houses, which was in direct response to the conservation officer’s requirement for variety and ‘breaking up of the long singular roofs’ breaks down their massing and diminishes their visual impact. According to the report by JBA, the proposed alterations demonstrate an understanding of the local context and contribute positively to the built environment of Blarney.

2.35 Sustainable Development Goals

This statement provides a detailed assessment of the proposed brownfield development—comprising 138 residential units, a public library, a community café, and a childcare facility—against the integrated framework of the United Nations Sustainable Development Goals (SDGs) as explicitly adopted and contextualised by the Cork City Development Plan 2022. The Plan’s strategic clustering of the SDGs into five core themes provides a robust lens through which to evaluate this project’s profound contribution to Cork’s sustainable future. This development is conceived not as a standalone intervention, but as a catalytic piece

of urban repair that embodies the principles of a Sustainable & Compact City, advances Climate Action & Environment, fosters Inclusive & Healthy Communities, supports Economic Prosperity & Innovation, and exemplifies the collaborative spirit of Partnerships & Governance.

Foundational Alignment with a Sustainable & Compact City (SDGs 1, 9, 11)

At its core, this project is a direct manifestation of the compact city model, central to SDGs 9 (Industry, Innovation and Infrastructure) and 11 (Sustainable Cities and Communities). The deliberate choice of a brownfield site for regeneration is a primary sustainable act, halting urban sprawl, utilising existing services, and revitalising underused land—a key action under SDG 11, Target 11.3. This approach inherently supports SDG 1 (No Poverty) by enhancing the assets and opportunities within the existing urban fabric, combating area-based deprivation. The development's mixed-use design, integrating homes with essential civic and social facilities, creates the very essence of a dense, liveable, and walkable neighbourhood. By ensuring the library, café, childcare, and green spaces are within a short, safe, and accessible walk from all residences, the project drastically reduces car dependency, promotes active travel, and fosters a palpable sense of place. The integration of green and blue infrastructure, such as planned rain gardens and tree-lined streets, is not an aesthetic add-on but a fundamental system that weaves ecological function into the daily lived experience of the community, solidifying its status as a model of sustainable urban form.

Proactive Commitment to Climate Action & Environment (SDGs 7, 13, 14, 15)

The project's design embodies a proactive response to the climate and ecological emergencies, directly addressing SDGs 13 (Climate Action), 15 (Life on Land), and contributing to SDGs 7 (Affordable and Clean Energy) and 14 (Life Below Water). Energy efficiency is paramount, with building designs targeting near-zero operational carbon through high-performance envelopes and renewable energy integration, such as solar photovoltaic panels, aligning with SDG 7. A cornerstone of the site's resilient design is its comprehensive Sustainable Urban Drainage System (SuDS). Features like permeable paving, manage water at source, mitigating flood risk, a critical climate adaptation measure under SDG 13, while improving water quality before it enters the broader network, thereby protecting aquatic life and contributing to SDG 14. Furthermore, the biodiversity strategy, employing native planting, ecological corridors, and habitat creation, seeks a demonstrable net gain for local ecosystems (SDG 15). This systemic integration of energy, water, and ecology demonstrates an embedded application of circular economy principles, minimising waste in construction and maximising the multifunctional use of resources.

Cultivation of Inclusive & Healthy Communities (SDGs 1, 3, 4, 10)

The social infrastructure of this development is its heartbeat, making tangible contributions to SDGs 3 (Good Health and Well-being), 4 (Quality Education), and 10 (Reduced Inequalities), while furthering the social inclusion aims of SDG 1. The provision of high-quality, adaptable housing, including Part V social and affordable homes, is a foundational step in reducing inequalities (SDG 10) and ensuring access to adequate shelter. The library is a pillar of lifelong learning (SDG 4) and digital inclusion, while the community café and interconnected public realm provide vital, accessible spaces for social interaction, reducing isolation and fostering mental well-being (SDG 3). The on-site childcare facility directly supports healthy child development and enables economic participation for parents. Critically, universal design principles ensure full accessibility for people of all ages and abilities, creating spaces where arts, culture, and community life can flourish without barriers. This intentional design cultivates a socially cohesive and healthy environment where community resilience is built through daily interaction and mutual support.

Catalyst for Economic Prosperity & Innovation (SDGs 8, 9)

This regeneration project is a significant catalyst for sustainable local economic development, aligning with SDG 8 (Decent Work and Economic Growth) and SDG 9. The construction phase itself will generate local

employment and utilise, where possible, local supply chains. In its operational life, the community café provides a platform for local social enterprise and employment, while the childcare facility supports labour market participation. The development fosters "smart growth" by creating an attractive, well-served, and low-carbon neighbourhood that will retain and attract a skilled workforce, supporting broader city-wide economic prosperity. The innovative remediation of a brownfield site and the integration of smart technologies for energy and water management exemplify the kind of sustainable industrialisation and innovation championed by SDG 9, positioning Cork as a city that embraces forward-thinking development models.

Exemplar of Effective Partnerships & Governance (SDG 17)

The successful delivery and enduring success of this multifaceted project hinge on the very principles of SDG 17 (Partnerships for the Goals). Its alignment with the Cork City Development Plan 2022 demonstrates adherence to a robust, participatory governance framework developed in collaboration with citizens. The project will necessitate and foster ongoing partnerships with the City Council for infrastructure and placemaking, with the HSE and Tusla regarding family and health services linked to the childcare facility, with educational bodies for library programming, and with local community groups for the activation of the café and public spaces. This collaborative approach ensures the development is not delivered to the community but with it, embedding it as a valued and sustainable asset within the wider urban system of Cork.

2.35.1 Open Space Provision

The recreation and amenity strategy provides active and passive outdoor spaces with excellent passive surveillance as highlighted on the plan opposite and listed below;

- Hard and soft breakout spaces within the curtilage of the apartment blocks.
- Natural play areas featuring grass mounds, slopes, tree planting, and boulders, fostering imaginative play and adding visual interest and texture to the surroundings.
- Kick-about spaces.
- Communal spaces for relaxation and socialising/ community events.
- Seating areas including stepped amphitheatre-style features integrated into localised natural contours and embankments.
- Proposed green infrastructure elements will also enhance the outdoor experience adding seasonality and a sense of connectivity with nature.

This recreation and amenity strategy embodies the principles of good public open space design by creating a multi-layered environment that serves the community's diverse needs. The provision of both active and passive zones, all designed with excellent passive surveillance, ensures a safe and inviting atmosphere for all users. This is achieved through a considered mix of intimate breakout spaces near residences, dynamic natural play areas that stimulate imagination through landforms and natural materials, and informal kick-about spaces for physical activity. Furthermore, the design fosters social cohesion and relaxation by dedicating areas for community events and integrating seating, such as amphitheatre-style features, directly into the existing landscape. The inclusion of purposeful green infrastructure deepens this connection, introducing seasonal interest and a tangible link to the natural world, thereby enhancing the overall sensory experience and long-term value of the outdoor realm.



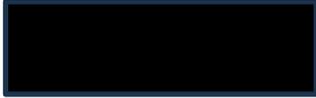
CCDP Open Space Standard	Overall percentage of Public Open Space within the entire site boundary is 15%				
Age-appropriate play areas and recreational routes within Public Open Space	Open Space 1: <ul style="list-style-type: none"> Toddlers Juniors Teenagers Older users 	Open Space 2: <ul style="list-style-type: none"> Toddlers Juniors Teenagers Older users 	Open Space 3: <ul style="list-style-type: none"> Toddlers Teenagers Older users 	Open Space 4: <ul style="list-style-type: none"> Toddlers Juniors Teenagers Older users 	Open Space 5: <ul style="list-style-type: none"> Teenagers Older users
Open space hierarchy	Small Park 7 % od overall site	Pocket park/square 4 % od overall site	Pocket Park/Plaza 1.1% od overall site	Pocket Park/Plaza	Pocket Park/Plaza

Open space hierarchy (type, area, % site, play typologies)

3.0 Conclusion

In summary having reviewed the Cork City Development Plan 2022-2028 and its constituent objectives it has been demonstrated that the proposed scheme is fully compliant with the objectives of the Development Plan.

Appendix - Emails



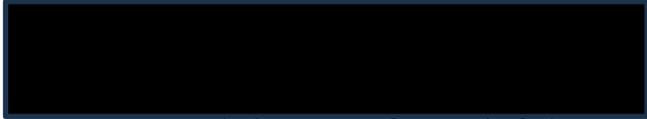
Wed 28 Jan, 14:03 ☆ 😊 ↶ ⋮

We currently have space for roughly 16 extra pupils. We are waiting for a new build where we we hope to be able to accommodate roughly 40 extra pupils.

Kind regards,



Principal
Scoil Chroí Íosa
Blarney

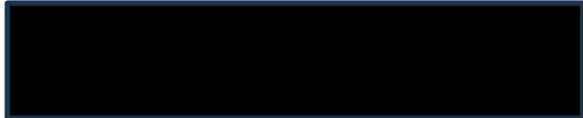


Thu 29 Jan, 08:35 ☆ 😊 ↶ ⋮

School built for 1200 Presently we have 1130



Principal



Wed 28 Jan, 14:36 ☆ 😊 ↶

Thank you for your email which I would like to confirm has been referred for the attention of the relevant unit within the Department. A reply will issue to you as soon as possible.

Kind Regards

An tAonad um Sheirbhís do Chustaiméirí
Customer Support Unit

An Roinn Oideachais agus Óige