

8th June 2023**A ARD-MHÉARA AGUS COMHAIRLEOIRÍ,****Re: Report under Section 179 (3) of the Planning and Development Act, 2000 as amended****LOCATION:**

Site situated in the townland of Lehenaghmore, Co. Cork, to the south of Cork City Centre. Access to the development will be via Togher Road.

PROPOSED DEVELOPMENT:

The proposed development comprises the construction of 45 no. units and all associated site works at Lehenaghmore.

The proposed works include:

- Construction of 45 No. units comprising of: -
 - 14 no. 3-bedroom, semi-detached houses,
 - 21 no. 3-bedroom, townhouses,
 - 10 no. 2-bedroom, townhouses,
- Provision of 87 no. parking spaces.
- All ancillary site works, services and signage as outlined in the plans and particulars.

Cork City Council advertised the proposed development by public advertisement and site notices on the 8th July 2022 as required by Article 81 of the Planning and Development Regulations 2001, as amended. These plans have been made available for public inspection for the prescribed period. Pursuant to the requirements of Part 8 of the Planning and Development Regulations, 2001, as amended, this housing development is proposed to be carried out for Cork City Council by DOB Plant Hire (Holding) Co. Unlimited Company T/A OBR Construction Group, by agreement which is subject to a formal contract to be entered into with the Council. The period within which any third-party submissions/observations were required to be made ended on the 22nd August 2022.

Subsequent to that advertisement, under the Provisions of 120(3)(b) of the Planning and Development Regulations 2001, by letter dated 4th August 2022, a third party sought a determination from An Bord Pleanála as to whether or not the proposed development would be likely to give rise to significant effects on the environment, and thereby require the preparation of an Environmental Impact Assessment Report (EIAR) (ABP Reference ABP-314291-22). The Board determined, by Order dated 2nd June 2023, that the proposed development would not be likely to have significant effects on the environment and, accordingly, that the preparation of an environmental impact assessment report was not, therefore required. Pending the outcome of a decision from An Bord Pleanála on both matters, the applicable timeline for the Part 8 process was placed on hold by the City Council and recommenced on 2nd June 2023 following the Board's determinations, in accordance with legislation.

A total of forty-eight submissions /observations were received by the Council within the prescribed period in relation to the proposed development. The names of the parties making submissions/ observations are listed on the attached Appendix 1.

The submissions/observations have been carefully considered and the issues raised are summarised hereunder with their related Council Responses:

A. SCALE AND DESIGN

Submissions/Observations:

- 1. It was submitted that the scale and design of the proposed scheme is not in keeping with the local existing properties. It was further submitted that the proposal should be reduced considerably, and bungalows included instead of two storey houses.*
- 2. It was suggested that the proposal could result in the overcrowding and overdevelopment of the site.*
- 3. It was suggested that the development was not in keeping with the rural feel of the area.*
- 4. It was requested that units within the proposed development are designed to accommodate people with mobility issues and disabilities.*
- 5. It was suggested that the proposed boundary conditions were not shown.*
- 6. It was requested that a 3m high block wall replace the proposed palisade green fence used as a boundary between Laurel Brook and the new development.*
- 7. It was considered that the green space provide as public open space is not sufficient.*

Council Response to Submissions/Observations:

1. The scale and design of the scheme has been informed by national and local planning guidance which is unanimously promoting higher density developments in accessible urban/city locations. As noted in the National Planning Framework Project Ireland 2040 (NPF) more people, jobs and activity are encouraged within existing urban areas to promote compact growth. National Policy Objective (NPO) 11 which is relevant to the proposed development site states that “in meeting urban development requirements, there will be a presumption in favour of development that can encourage more people and generate more jobs and activity within existing cities, towns and villages, subject to development meeting appropriate planning standards and achieving targeted growth” (emphasis added). NPO 13 of the NPF also states that “in urban areas, planning and related standards, including in particular building height and car parking will be based on performance criteria that seek to achieve well-designed high-quality outcomes in order to achieve targeted growth. These standards will be subject to a range of tolerance that enables alternative solutions to be proposed to achieve stated outcomes, provided public safety is not compromised and the environment is suitably protected”. According to the NPF, Cork is expected to increase its population by 125,000 by 2040, which will require the provision of additional housing to accommodate approximately 6,000 people every year up to 2040. The NPF highlights the urgent requirement for a major uplift of the delivery of housing within the existing built-up areas of cities and other urban areas. According to the NPF, a key tenet to achieving these ambitious housing targets is through compact growth and targeting a greater portion (40%) of future housing development to be within and close to the existing ‘footprint’ of built-up areas; and that future homes are required to be located where people have the best opportunities to access a high standard quality of life. In this instance, the proposed development will be a natural extension to the Laurel Brook development to the north.
2. The provision of residential development on the site supports the primary land use of the surrounding existing built-up area which is also residential use. The density of 30 dwellings per hectare is considered entirely reasonable given the residential zoning of the site and the pattern of development in the area and its prime location in close proximity to Togher village. The

proposed development is also compliant with the 2022 Cork City Development Plan (CDP) as the site is zoned for 'ZO 2 New Residential Neighbourhoods' where it is an objective to "provide for new residential development in tandem with the provision of the necessary social and physical infrastructure". The proposed (two storey) heights are also compliant with Table 11.1 of the 2022 CDP (which has a target height of between 2 to 4 storeys for Outer Suburban sites) and are sympathetic to the immediate context of the subject site. Single storey dwellings (as advocated in some of the submissions), would not be compliant with Table 11.1 of the 2022 CDP. As can be seen from the site sections contained within the planning application documentation, the proposed development includes large rear gardens with generous separation distances and appropriate landscaping to ensure that the privacy and amenities of adjoining residential units is protected. In terms of design, the architectural treatment of the proposed development includes a light beige render, a darker beige brick, pressed metal elements and generous glazing proportions which are articulated in a contemporary language which is compatible with the immediate context of the area. The scheme has been carefully designed to ensure that it utilises the site to its maximum potential whilst ensuring that there will not be an adverse impact on the general residential amenities of the area. The materials, height, layout and design of the scheme was carefully conceived to optimise the potential of the site without having an adverse impact on the residential dwellings in the area. It is therefore considered that the proposed development has been designed having regard to the existing character of the area and is in compliance with national and local guidance.

3. It is noted that the site is zoned for residential development in the 2022 Cork City Development Plan. The site is also located with the city boundary. The proposed scheme is therefore consistent with the current development plan and is consistent with national and local planning policy.
4. All dwellings are designed to be compliant with the Building Regulations, Technical Guidance Document Part M, 2022 - Part M (Disability Access) - which seeks to ensure that regardless of age, size or disability buildings are accessible.
5. The Boundary Conditions were addressed in Drawing 20185_P_003C_Proposed Landscape Plan as included in the Part 8 application documentation.
6. There is no palisade fence proposed as a boundary with Laurel Brook. The existing boundary will be retained and supplemented to provide a 1.8m high wall, with the addition of a planted tree buffer to provide additional screening. A 3m high wall as suggested would be inappropriate and of negative impact.
7. The public open space is considered appropriate for the development, and in line with the relevant guidelines.

B. RESIDENTIAL AMENITY

Submission/Observation:

1. *It was stated that there were concerns surrounding the potential impact on the residential amenity of the existing houses, with overlooking and overshadowing occurring as a result. It was suggested that the proposed housing will tower over existing houses which would hugely impact those houses in proximity and the neighbouring estate in general by blocking light from lower-level West Avenue and taking away their privacy. It was requested that elevation of the site should be reduced considerably and that some houses should be replaced by bungalows.*
2. *It was submitted that additional planting to the borders to prevent overlooking is not viable due to the length of time it would take for them to grow sufficiently and also that they would then potentially block sunlight. It was further submitted that trees be planted along all boundaries to act as a sound barrier and to enhance the visual impact of the boundaries.*

Council Response to Submission/Observation:

1. The proposed development has been carefully designed to provide a suitable density of development, whilst at the same time protecting the amenities of adjoining residents by:
 - Providing generous separation distances to the existing residential properties to the north and east of the development site;
 - Providing adequate landscaping and boundary treatments to provide visual screening and mitigate any negative impacts;
 - Avoiding any overshadowing / loss of light to adjoining residences by setting back units appropriately from existing dwellings; and
 - Avoiding windows/overlooking of the adjoining residential properties including their private amenity areas.

The units have been strategically set back at an appropriate distance from the adjoining properties in Laurel Brook to ensure that the existing units are prevented from having any overlooking or other impact. Contrary to the assertions made in the submissions received by Cork City Council, that the development will have a negative impact in relation to the residential amenity of existing homes, the design of the scheme ensures that this will not be the case. As outlined in the Design Statement submitted, specific design measures were incorporated to ensure that opportunities for overlooking from the proposed development on adjacent residential properties were minimised. Furthermore, it is important to note that the proposed application site is located away from any existing residential units, with the scheme designed to provide extensive separation distance to any existing residential property and will therefore not impact on the residential amenity of existing properties. Similarly, units are orientated away to prevent any overlooking of adjoining units. All boundaries to the site are proposed to be retained. To the north, it is proposed to retain the existing boundary and supplement same to provide a 1.8m high boundary. Additional tree planting is also proposed along this boundary to further mitigate any overlooking or other impact. Similarly, to the east, the existing boundary will be retained and supplemented with a 1.8m boundary.

Taking on board the submissions of adjoining residents with regard to perceived concerns on overlooking, the City Council proposes an amendment to the design of the development to alter the rear elevation of property numbers 37-45 by re-aligning the upper floor rear-facing bedroom windows to prevent any perceived overlooking of adjacent private properties (revised elevation drawings - Drawing No's. 20185/P/003A, 20185/P/136 and 20185/P/004B at Appendix 2). This modification to the design will supplement all prior mitigation measures outlined above to provide additional assurance to the neighbouring properties with regard to the perceived concern of overlooking.

The City Council considers that the layout, with this modification, of the proposed residential development is entirely appropriate and carefully responds to the exigencies of the site and that the proposed scheme will not have a negative impact on the residential amenities of neighbouring dwellings and will make a positive contribution to this part of the city and in particular Togher.

2. The inclusion of planted tree buffers to provide additional screening is a sustainable enhancement to all properties and amenity. The tree buffer planting is therefore proposed to be retained in the development.

C. TRAFFIC AND ROAD SAFETY

Submission/Observation:

- 1. It was submitted that there are concerns amongst the residents in the area that the additional traffic is not appropriate for the site and furthermore that the increase in traffic would be a safety concern. It was submitted that there was a lack of onsite parking.*
- 2. It was suggested that the Matthew Hill and surrounding areas are being utilised as a “rat run” for traffic to circumvent traffic restrictions at the Airport/Kinsale Road roundabout and this has not been accounted for in the proposal.*
- 3. It was opined that the site entrance was located too close to the junction of Matthew Hill and Togher Road.*
- 4. A submission queried the date of the Traffic Survey and the assessment criteria used for same.*

Council Response to Submission/Observation:

1. Given the urban location of the proposed development, the quality of existing and proposed pedestrian and cycle facilities in the area and the level of public transport available to residents, the attainment of an appropriate modal shift in this area is entirely achievable. The Togher area is one of the most sustainable locations in the City. The development is not only located within very easy walking distance of Togher but also within easy walking distance important services and facilities including shops and health/medical services locally and further at Wilton. Sufficient space is provided within the rear gardens of dwellings for bicycle storage to encourage alternative modes of transport. The Council also has a planned infrastructure project for the area, the Lehenaghmore Road Improvement Scheme, approved by An Chomhairle through the Part 8 process, and which is proposed to provide significant improvements to local roads infrastructure. The Compulsory Purchase Order to give effect to this scheme is currently with An Bord Pleanála for determination. With regard to parking provision, it is further proposed to provide 87 no. car parking spaces for the development which is considered adequate. The increase in the number of dwellings proposed in this current application will have an immaterial impact in terms of traffic generation/traffic safety. Contrary to the assertions of the observers, by providing footpaths to tie into the existing footpath network, the development will ensure traffic/pedestrian safety in the area and in fact improve the overall permeability/connections in the area. Moreover, the National Planning Framework guidance document further notes that a more dynamic performance-based approach appropriate to urban location types will also enable the level of public transport service to improve as more development occurs and vice-versa and that “there should also generally be no car parking requirement for new development in or near the centres of the five cities”. It is therefore considered that the proposed development will not have an adverse impact on traffic and road safety in the area nor result in car parking spaces in Laurel Brook being used by non-residents given the site’s prime location in terms of the public transport connectivity it affords to the city centre and transport hubs.
2. This submission is noted, a Road Safety Audit has been completed as appropriate for the site and does not identify this as an issue of concern.
3. The location of the site entrance has been considered by the Roads Design Team and the relevant directorates within the Council. The location is considered suitable and appropriate.
4. The Traffic and Transport Assessment was completed in June 2022, the assessment was completed as per the appropriate guidelines.

D. INFRASTRUCTURE

Submission/Observation:

- 1. It was suggested that the existing road and traffic infrastructure is insufficient to cope with the proposed development.*
- 2. It was opined that the footpath connection to Laurel Brook would impact the existing established estate and it was requested that it be removed from the proposal.*
- 3. It was queried if the servicing infrastructure in the area would be sufficient for the proposal, with the submitter noting that the area has previously flooded and the surface water runoff from the site will occur as the drains are insufficient to cope with heavy rainfall.*

Council Response to Submission/Observation:

1. It is important to note that in 2021 the Lehenaghmore Road Improvement Scheme was approved by An Chomhairle and will include a footpath connection from the site down the full extent of Togher Road. A roundabout is also proposed to the south of the site at Barretts Junction with further footpath works proposed along Matthew Hill. A dedicated 2m wide cycle lane will also be constructed along Matthew Hill to further encourage modal shift and provide alternative modes of transport for residents in the area. It is anticipated that the proposed housing development will be built in parallel with the Part 8 Lehenaghmore Road Improvement Scheme which will be of considerable benefit. Within the vicinity of the proposed housing development, there will be speed control measures, traffic calming measures along with Zebra crossings and new 2m wide footpaths for pedestrian movements. The layout of the proposed housing development incorporates the Road Improvement Scheme into the overall layout of the development.
2. Having taken on board local residents' genuine concerns and submissions made and the representations from local elected members, the inclusion of pedestrian connectivity points has been reviewed and considered, and the proposed connectivity walkway between the proposed development and Laurel Brook has now been omitted. Should local demand change in the future, the design of the development makes it possible to revisit this pedestrian connectivity point, in the event that it is considered appropriate to form new pedestrian connections.
3. The storm water system for the development will involve a network of underground pipelines and manholes discharging to the storm sewer at the junction of Alderbrook housing development and Togher Road via an attenuation system which will be sized to ensure a greenfield runoff rate and fitted with a flow control device (sized in accordance with permitted discharge from the site) to ensure no increase in peak flows in the network. An oil / petrol interceptor to remove any traces of oil washed off road surfaces will also be installed. It is envisaged due to the terrain of the landscape that all stormwater works will be carried out in the initial stages of the project. For the course of construction, a silt fence with a filter drain connected to the new network will also be constructed in compliance with CIRIA C532 – Control of water pollution from construction sites. This will be erected along the north and north-eastern perimeter on the site. The silt fence will prevent the movement of sediment from site and divert excess volumes of water in the event of heavy rainfall from entering neighbouring residential properties during construction. It will be lined with a suitable high strength geotextile fabric. Daily visual inspection of silt control will be carried out for the duration of the works. No earth works will be undertaken in prolonged heavy weather conditions. It is therefore considered that there will be adequate road, footpath and cycling facilities in the area as well as servicing infrastructure and that the proposed development will tie in with permitted Part 8 Road Improvement Scheme works for Lehenaghmore and will be appropriately designed in terms of servicing.

D. OTHER

Submission/Observation:

1. *It was suggested that the proposed scheme would result in a negative impact of daylight/sunlight for the existing houses in Laurel Brook.*
2. *It was stated that the proposed scheme would create issues with noise and pollution in the local area.*
3. *It was opined that there were a lack of amenities and facilities in the area to accommodate for the residents in the proposed scheme.*
4. *It was highlighted that there is a planning history in the area, and that the site was located within a “green belt”. It was further submitted that the residents in the nearby estate were advised that no further development would take place in the area when purchasing their properties.*
5. *It was submitted that there were issues with the EIA Screening Report.*
6. *It was noted that the site is near Cork Airport and questioned if this proposal was acceptable to the relevant Airport authorities.*
7. *It was requested that the proposed development be fully used for affordable homes.*
8. *It was suggested that the locality should receive a social dividend to compensate for years of neglect in terms of services and infrastructure. It was queried if Cork City Council could provide timelines for several projects within the vicinity of the proposed development; Lehenaghmore Road Improvement Scheme, Togher Flood Relief Works, a new secondary school on Togher Road, another CCC proposed housing development, and any further public-funded projects within the area. It was further submitted that no works should take place until a playground has been installed in Lehenaghmore Park and the old Bandon Railway Greenway has been completed.*
9. *It was queried if the proposal could have a unique name separate to Laurel Brook, it was further suggested that the name of the new proposal should not include “Laurel, Brook, Lane or Avenue”. It was also requested that the name reflects the geography, culture or history of the area.*
10. *It was suggested that the proposed development would cause existing properties in the location to drop in value.*
11. *It was noted that there are legacy issues with the taking in charge of Laurel Brook estate.*

Council Response to Submission/Observation:

1. Regarding daylight/sunlight, given the modest two storey heights proposed and the substantial separation distance between the proposed development and existing dwellings to the north and east, it is not considered necessary to provide a daylight/sunlight report for the development. The proposed development has been carefully designed to provide very generous separation distances to the existing residential properties to the north and east of the development site, with the set back of units within this scheme to avoid any overshadowing or loss of light to existing dwellings.
2. In relation to the noise and dust generated from the proposed development, a Construction Environmental Management Plan (CEMP) will be prepared for the proposed development in advance of commencement of construction. The CEMP will detail measures to mitigate any likely impacts associated with noise, dust or pollution from the construction process. With mitigation measures in place, no significant negative impacts are likely.
3. In relation to the facilities and amenities in the area, the planning report submitted included details on both social and community facilities in the area which will be available to residents. The site is within proximity of schools, creches, health facilities, shops and sports/recreational facilities (Lehenaghmore Park immediately adjoins the site to the south) and the provision of

- 45 no. units will further support and promote these services/facilities ensuring long term use and growth in the area.
4. In relation to the planning history of the site, there is no planning history which relates to the subject lands or restricts the development of this scheme. This proposal must be considered based on the provisions of current planning policy which fully supports the proposed scheme. This site is zoned residential in the Cork City Development Plan and was also zoned residential in the prior Cork County Development Plan.
 5. The EIA Screening report prepared for the development did consider developments in the area. An Appropriate Assessment Screening Report and Environmental Impact Assessment Screening Report were carried out and it was concluded that there will be no real likelihood of significant effects on the environment arising from the proposed development. This has been further confirmed by Order of An Bord Pleanála:- under the Provisions of 120(3)(b) of the Planning and Development Regulations 2001, by letter dated 4th August 2022, a third party sought a determination from An Bord Pleanála as to whether or not the proposed development would be likely to give rise to significant effects on the environment, and thereby require the preparation of an Environmental Impact Assessment Report (EIAR) (ABP Reference ABP-314291-22). The Board determined, by Order dated 2nd June 2023, that the proposed development would not be likely to have significant effects on the environment and, accordingly, that the preparation of an environmental impact assessment report was not, therefore required.
 6. The subject site is located over 1km from Cork Airport and will not have a negative impact on any potential exclusion zones as all units are two storey in height only and the proposal does not consist of high rise buildings, and this has been confirmed by the relevant Airport Authorities.
 7. This request is noted. The planning permission application is in fact a planning application for a residential development and is agnostic as to tenure. Notwithstanding that fact, the Housing Directorate in considering the submissions of local residents and having regard to the demand for affordable housing in this area, will endeavour to ensure the scheme is delivered as an Affordable Housing Scheme.
 8. The submissions are noted. However, the developments and initiatives outlined are outside of the scope of this residential development proposal.
 9. This is noted and will be considered when the naming of the development takes place.
 10. There is no evidence to support this assertion. New homes are required to meet significant and growing demand for the City's expanding population. The proposal will also provide a long-term sustainable residential use on this site in Cork City and it is considered that the proposal to develop the site is a most positive planning intervention and will reflect positively on surrounding properties.
 11. The submission is noted. The Laurel Brook estate is outside of the scope of this residential development proposal. Cork City Council however notes that Laurel Brook is on the programme of estates to be formally taken in charge and will be progressed in accordance with this programme.

Conclusion:

The proposed scheme will provide much needed homes under the national Housing for All Plan, together with Cork City Council's Housing Delivery Action Plan 2022-2026 and will help contribute to dealing with the pent-up demand for housing in the City.

The proposed development is considered to be in accordance with proper planning and sustainable development and is an innovative intervention and sustainable housing solution near the City Centre.

The development has been the subject of an Appropriate Assessment Screening and an Environmental Impact Assessment Screening. The Appropriate Assessment Screening concluded that the proposed

development would not be likely to have a significant effect on any Natura 2000 site. The Environmental Impact Assessment Screening concluded that there is no real likelihood of significant effects therefore an Environmental Impact Assessment is not required.

This proposal which has been professionally designed by a competent and experienced design team has been considered by the City Architect, the Community, Culture & Placemaking Directorate, the Operations Directorate, the Capital & Infrastructure Development Directorate, and the Strategic and Economic Development Directorate, and the inputs of the various Directorates have been taken into account in the consideration of this proposed project.

I recommend that the proposed development, as advertised and as shown on the site location (Drawing Numbers: 20185_P_001 – Proposed Site Location Map), Site Layout Drawings (Drawing Number: 20185_P_003A Proposed Site Plan) and Unit Drawings (Drawing Numbers: 20185/P/136 and 20185/P/004B) as attached at Appendix 2 be proceeded with, subject to the conditions, amendments, and recommendations outlined above.

Mise le meas,

Ann Doherty,
Príomhfheidhmeannach,
Don Uile Bhall De Chomhairle Cathrach Chorcaí.

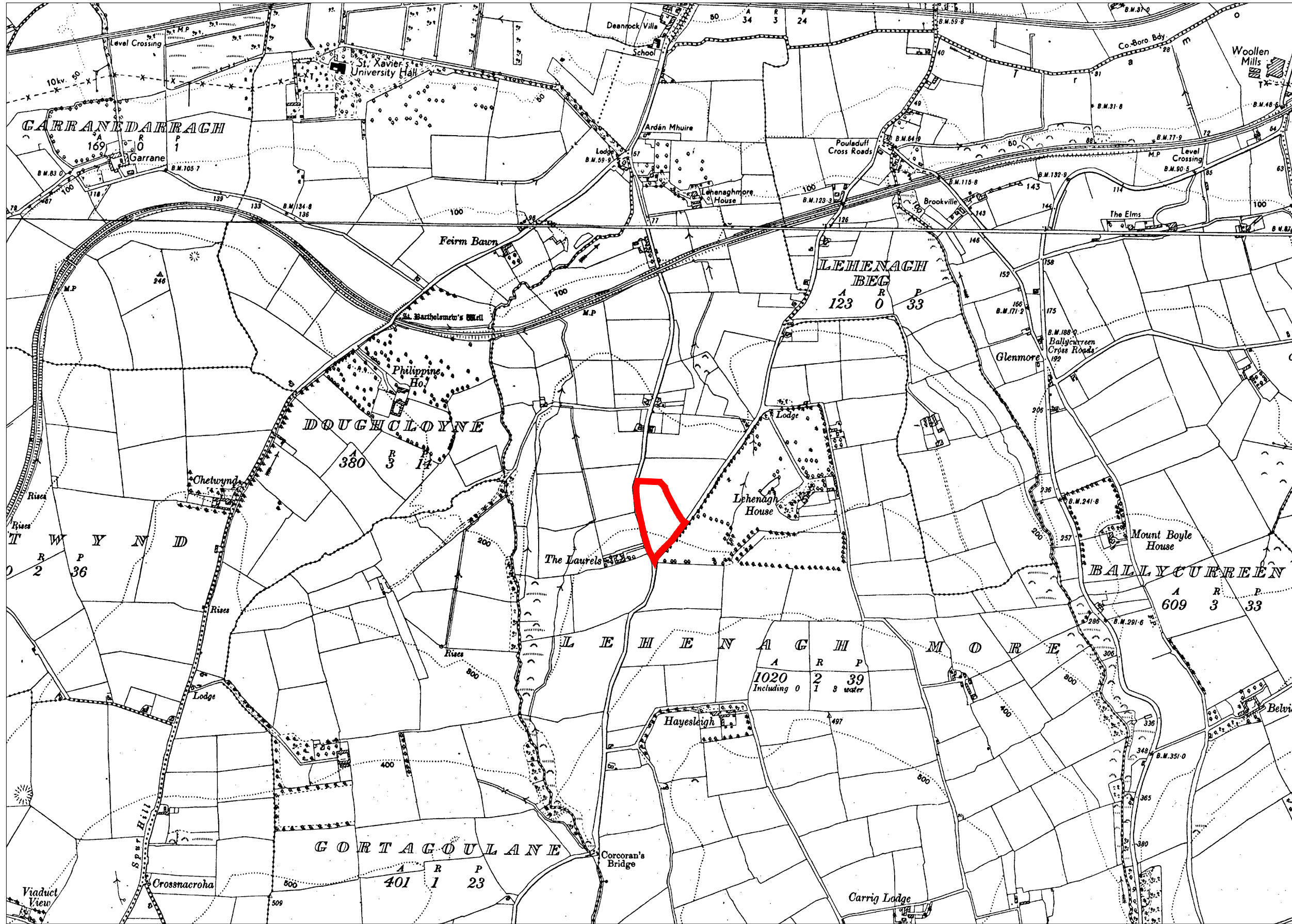
APPENDIX 1

Submissions received for the construction of a modern residential accommodation scheme at Lehenaghmore, Co. Cork. The proposed development comprises of the construction of 45 no. units, and all ancillary site works and signage as outlined on the plans and particulars.

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APPENDIX 2 – Site Location, Site Layout and Elevation Drawings



SITE LOCATION MAP
SCALE 1:10560

SITE BOUNDARY

MAP DETAILS

Description
 Digital
 Cartographic
 Model (DCM)
 Publisher / Source
 Ordnance Survey Ireland (OSI)
 Data Source / Reference
 PRIME2
 File Format
 AutoCAD (DWG, R2013)
 File Name
 v_50037186_1.dwg
 Clip Extent / Area of Interest (ADD)
 ULLX.LLY= 559867.0,569725.5
 LRLX.LRY= 560697.0,569725.5
 ULX.LLY= 559867.0,570340.5
 URY.LRY= 560697.0,570340.5
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 Projection
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 Centre Point Coordinates
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 Reference Index
 Map Sheets
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 1:2,500 I 6425-B
 1:1,000 I 6380-25
 1:2,500 I 6381-C
 Data Extraction Date
 Date
 04-Dec-2018
 Source Data Release
 DCLMS Release V1111103
 Product Version
 Version= 1.3
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P1	Issue for planning	16.06.22
No.	Revision/Issue	Date

Firm Name and Address
DEADY SAHAN

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Project Name and Address
 PROPOSED RESIDENTIAL DEVELOPMENT AT LEHENAGHMORE, CO. CORK

Drawing Title	Date
Site Location Map	13.07.21
Drawing No.	Drawn
20185/P/001	SF
Scale	Sheet No.
Scale: 1:10560 @ A3	1 of 2

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
 DRAWING ON AUTOCAD 2004 AT DEADY SAHAR ARCHITECTS LTD
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 2

LEGEND

- SITE BOUNDARY
- - - DEVELOPABLE AREA
- - - EXISTING BOUNDARIES TO BE RETAINED AND SUPPLEMENTED TO PROVIDE A 1.8M HIGH BOUNDARY. ADDITIONAL TREE PLANTING TO ALSO BE PROVIDED.
- - - EXISTING BOUNDARIES TO BE RETAINED AND SUPPLEMENTED TO PROVIDE A 1.8M HIGH BOUNDARY.
- - - 1200mm HIGH GREEN PALADIN FENCE WITH INTEGRATED HEDGE AND BANKED LANDSCAPING.
- - - 2.0M HIGH CONCRETE POST & TIMBER INFILL PANELLING
- - - 2.0M HIGH CONCRETE BLOCK WALL RENDERED & CAPPED TO PUBLIC FACE WHERE APPLICABLE.

- PROPOSED PUBLIC PATH
- PARKING
- ACCESS STREET
- PRIVATE FOOTPATH
- SHARED SURFACE
- PUBLIC GRASS
- PRIVATE GARDEN
- PROPOSED TREES
- PROPOSED PUBLIC LIGHTING LOCATIONS



1200mm HIGH FENCE WITH INTEGRATED HEDGE

ENTRANCE

PUBLIC ROAD

PROPOSED PART 8 ROAD IMPROVEMENT SCHEME

EXISTING BOUNDARIES TO BE RETAINED AND SUPPLEMENTED TO PROVIDE A 1.8M HIGH BOUNDARY. ADDITIONAL TREE PLANTING TO ALSO BE PROVIDED.

NO FF WINDOWS INTO HABITABLE ROOMS ON REAR ELEVATION

EXISTING BOUNDARIES TO BE RETAINED AND SUPPLEMENTED TO PROVIDE A 1.8M HIGH BOUNDARY.

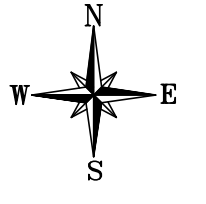
PROPOSED PART 8 ROAD IMPROVEMENT SCHEME

PROPOSED PART 8 ROAD IMPROVEMENT SCHEME

HOUSE SCHEDULE				
UNIT TYPE	BEDS	NO.	AREA (m ²)	AREA (ft ²)
A-1	3	6	101	1087
A-2	3	6	101	1087
B-1	3	2	101	1087
B-2	3	6	101	1087
B-3	3	8	101	1087
B-4	3	3	104	1120
B-5	3	2	104	1120
B-6	3	2	104	1120
C-1	2	6	84.1	905
C-2	2	2	84.1	905
C-3	2	2	84.2	906
TOTAL NO.		45		

SITE AREA (RED)	1.79Ha/4.4Acres
DEVELOPABLE AREA (ORANGE)	1.51Ha
DENSITY	30 Units/Ha (45/1.51Ha)
OPEN SPACE	13%

PROPOSED SITE PLAN
 SCALE 1:500@A2



Date	28.09.23	Rev	P1	Name	LM	CHK	EJC	NOTE	ISSUE FOR PLANNING
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DEADY SAHAR ARCHITECTS
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Project: PROPOSED RESIDENTIAL DEVELOPMENT IN LEENAGHMORE, CO. CO. K.

Drawing title: PROPOSED SITE PLAN

Scale	1:500 @A2	Drawn	LM	Checked	EJC	Date	01.12.21
Project No.	20188	Eng. No.	20188/PROJ03A	Revision	P1	Transfer	

Information | Comments | Planning | Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



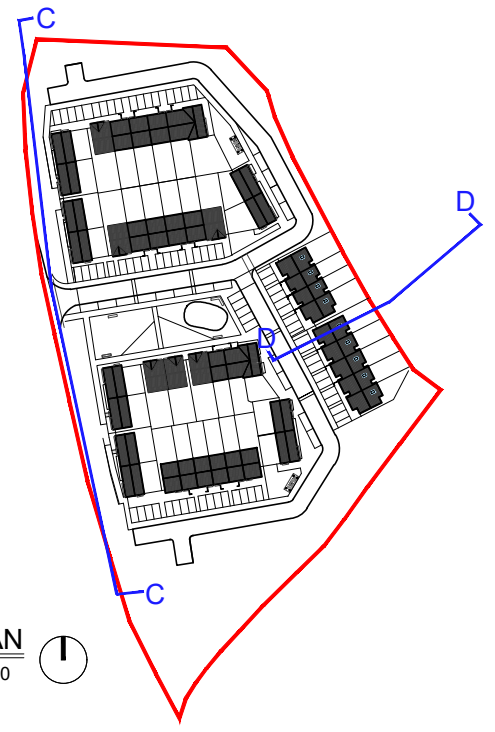
SECTION C-C (PART A)
 SCALE 1:250



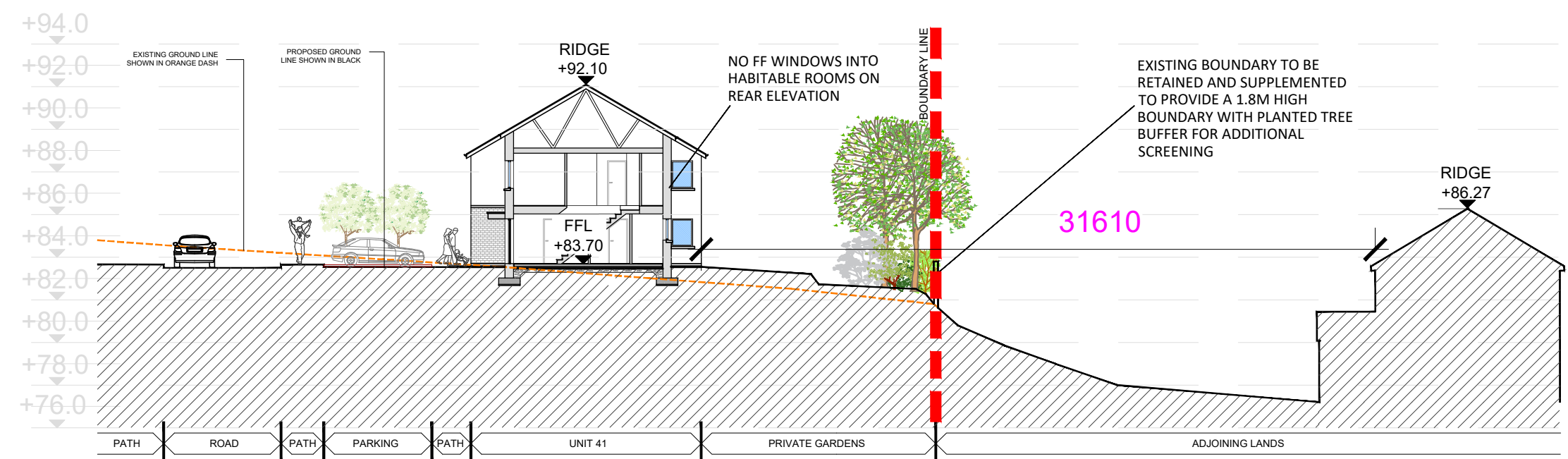
SECTION C-C (PART B)
 SCALE 1:250



SECTION C-C KEY
 SCALE 1:1000



KEY PLAN
 SCALE 1:2500



SECTION D-D
 SCALE 1:250

PROPOSED SITE SECTIONS C-C & D-D
 SCALE 1:250@A2

date	rev	name	chk	note
08.06.23	P1	PC	EJG	ISSUE FOR PLANNING

DEADY GAHAN
DG
ARCHITECTS

EASTGATE VILLAGE, LITTLE ISLAND, CORK
 T: 021 4355016 W: WWW.DGARCHITECTS.IE
 EMAIL: INFO@DGARCHITECTS.IE

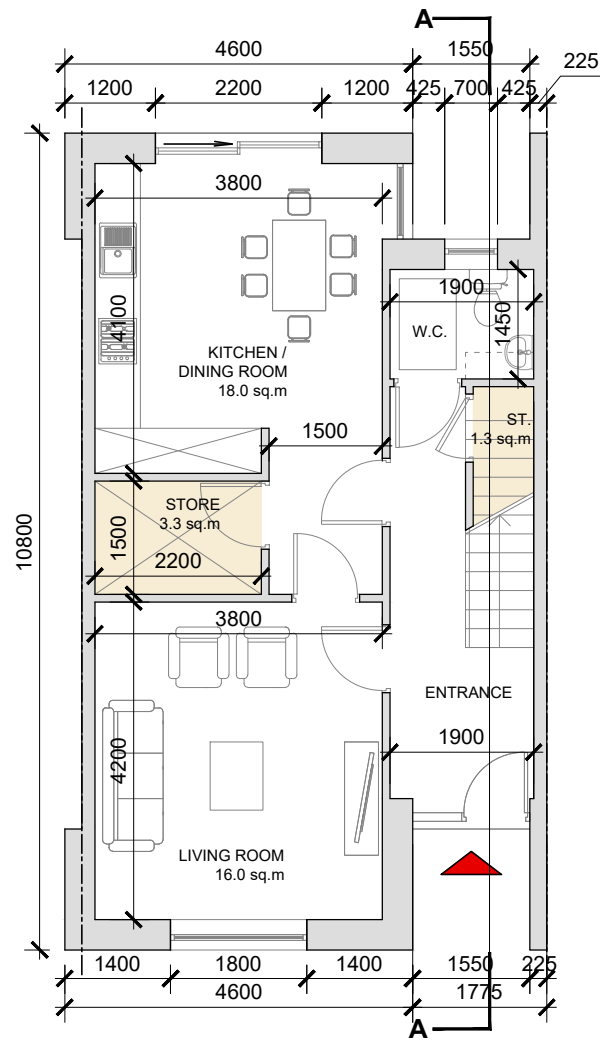
Project
 PROPOSED RESIDENTIAL DEVELOPMENT
 IN LEHANAGHMORE, CO. CORK

Drawing title
 PROPOSED SITE SECTIONS C-C & D-D

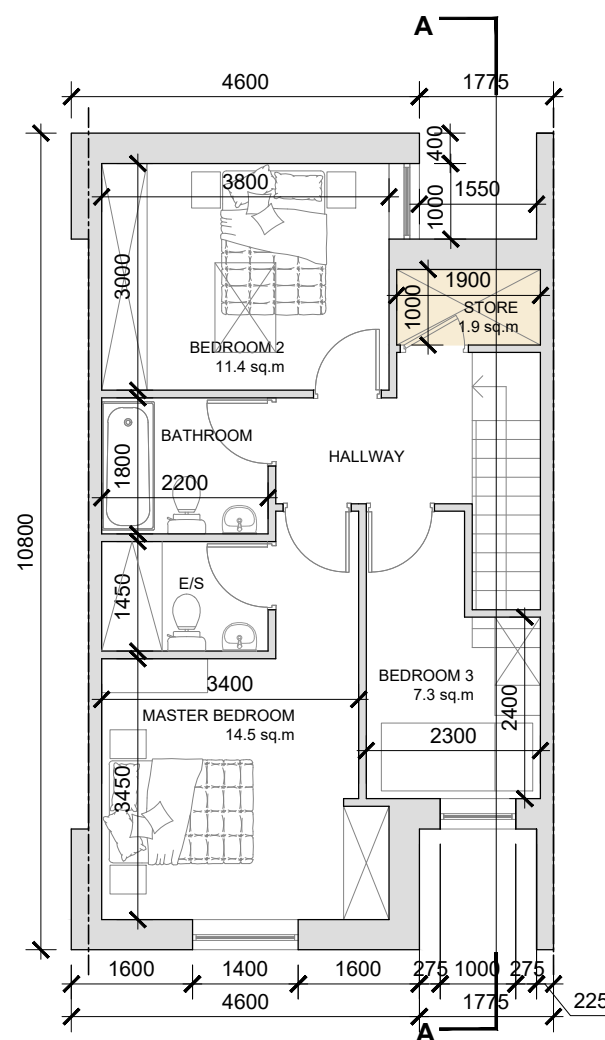
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Project No. 20185	Dwg. No. 20185/P/004B	Revision P1	
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HOUSE TYPE B4
 3-bed Townhouse (5 person)
AREA: 104.0 SQ.M.
1119 SQ.FT.

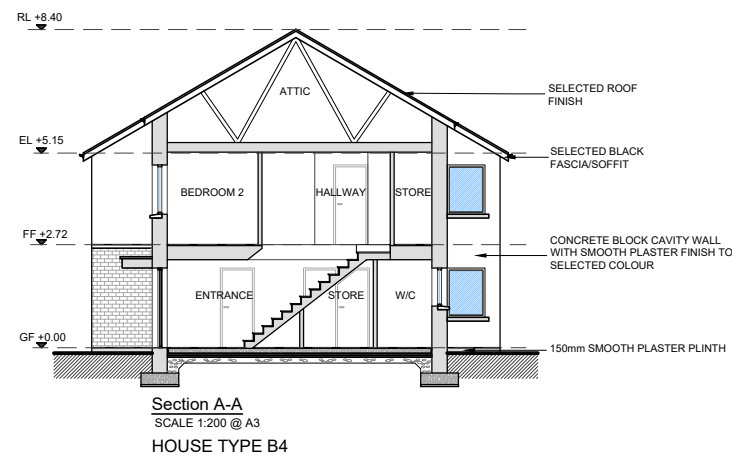
STORAGE total - 6.5 sq.m.



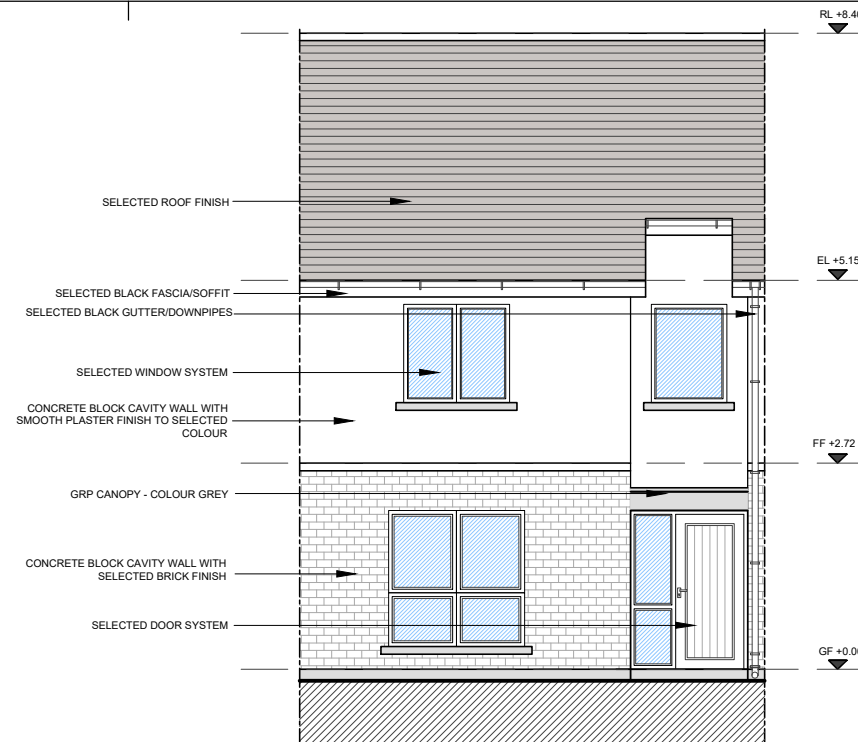
Ground Floor Plan
 SCALE 1:100 @ A3



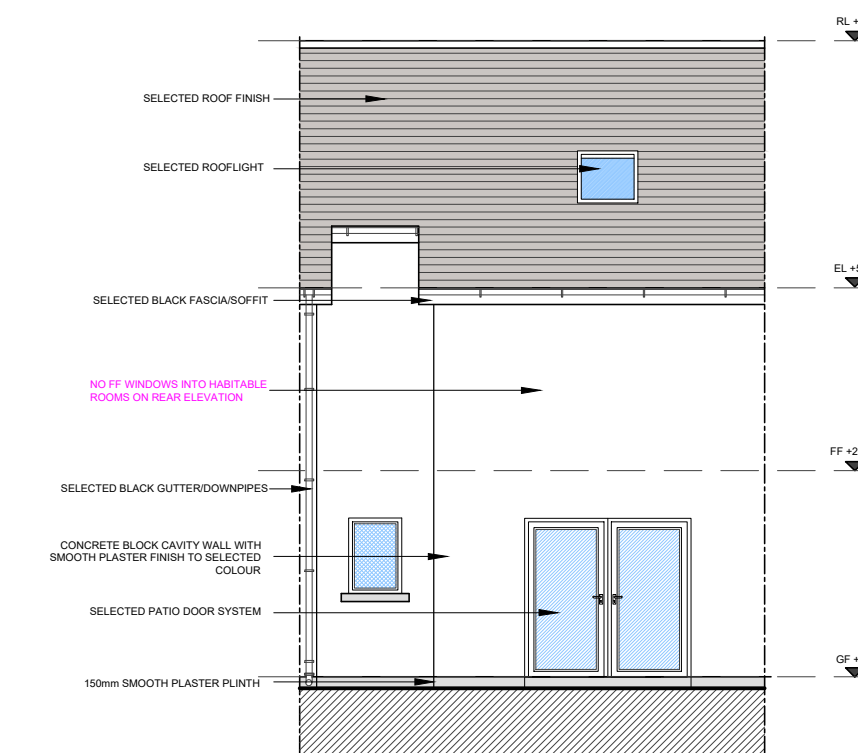
First Floor Plan
 SCALE 1:100 @ A3



Section A-A
 SCALE 1:200 @ A3
 HOUSE TYPE B4

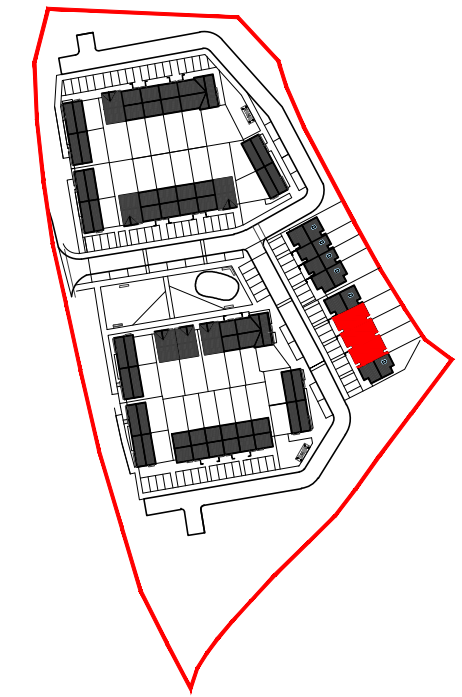


Front Elevation
 SCALE 1:100 @ A3
 HOUSE TYPE B4



Rear Elevation
 SCALE 1:100 @ A3
 HOUSE TYPE B4

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



3D Render
 NTS

NOTE: POSITION OF NORTH POINT & LEVELS VARY.
 SEE SITE PLAN FOR ORIENTATION - DWG NO. 20185/P/003A

date	rev	name	chk	note
08.06.23	P1	PC	EJG	ISSUE FOR PLANNING



Project
 PROPOSED RESIDENTIAL DEVELOPMENT
 AT LEHENAGHMORE, CO. CORK

Drawing title
 HOUSE TYPE B4 - 3-BED TOWNHOUSE
 PLANS, ELEVATIONS, SECTION A-A & 3D RENDER

Scale	Drawn	Checked	Date
1:100/200 @ A3	PC	EJG	07.06.23
Project No.	Dwg. No.	Revision	
20185	20185/P/131	P1	

Information / Comments	Tender
<input type="checkbox"/> Planning	<input type="checkbox"/> Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

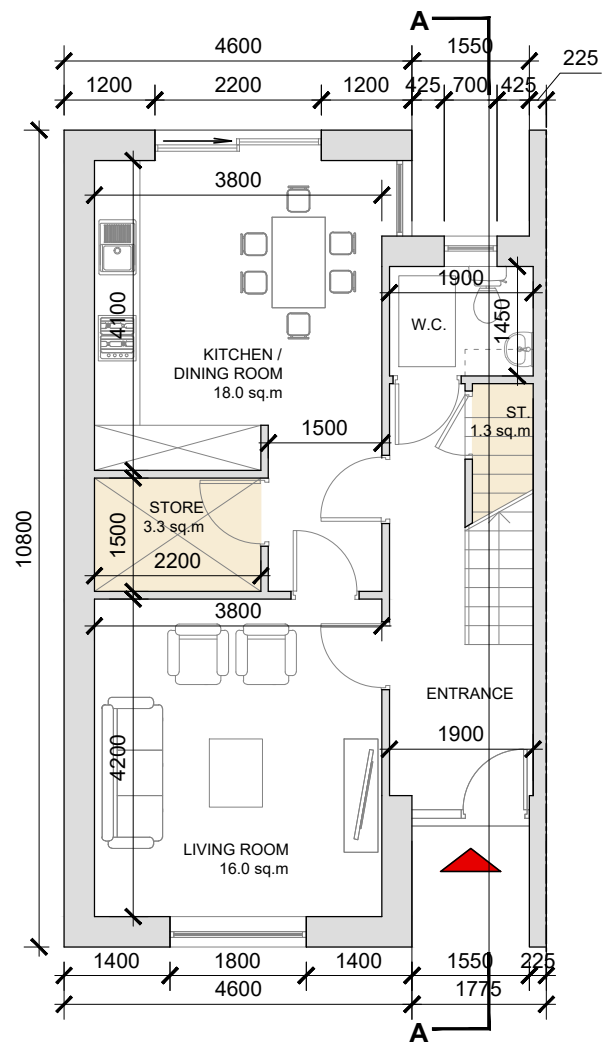
HOUSE TYPE B5

3-bed Townhouse (5 person)

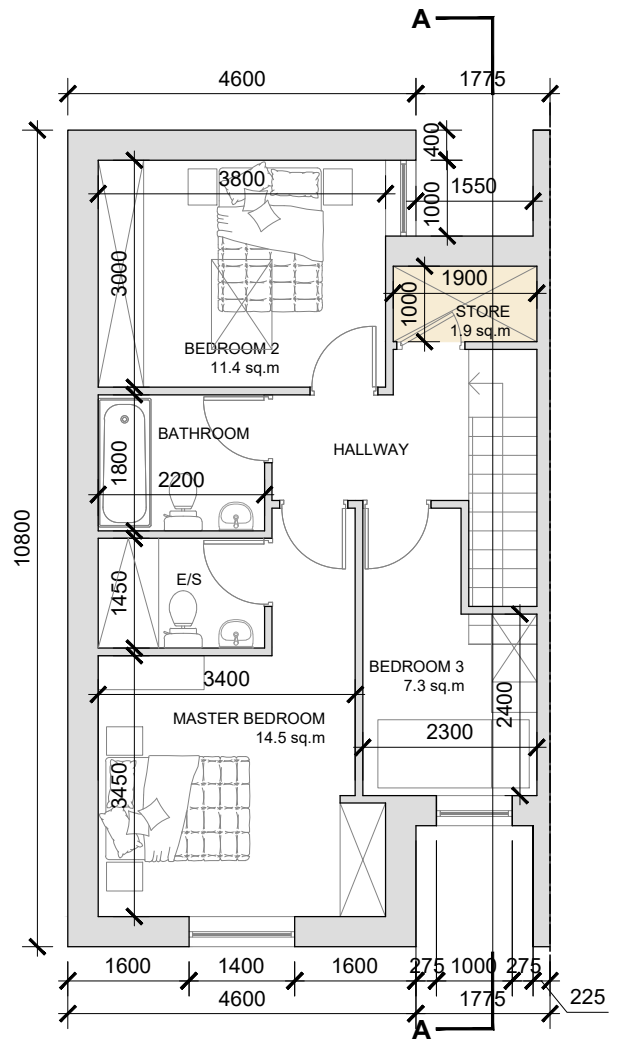
AREA: 104.0 SQ.M.

1119 SQ.FT.

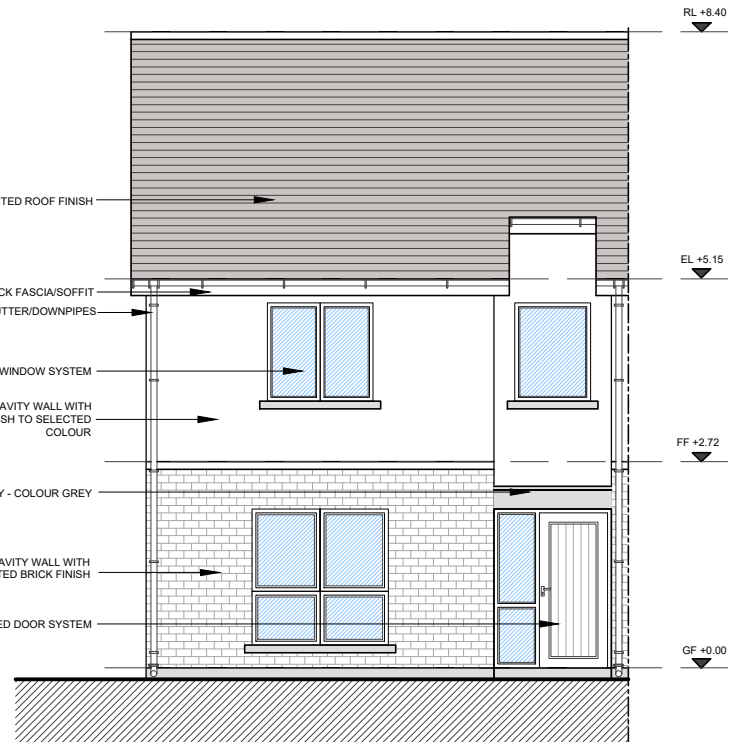
STORAGE total - 6.5 sq.m.



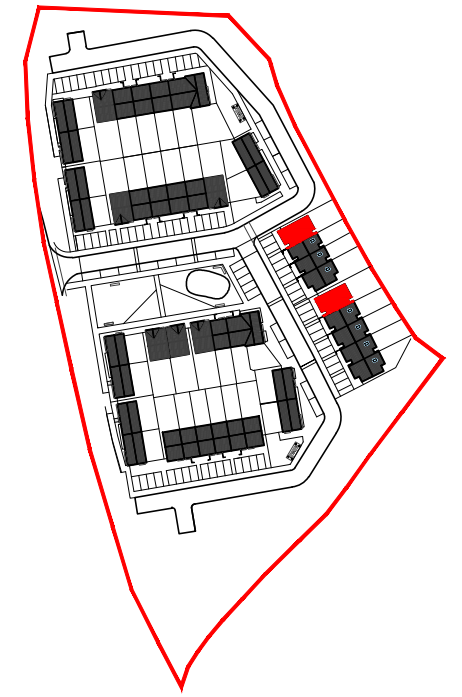
Ground Floor Plan
 SCALE 1:100 @ A3



First Floor Plan
 SCALE 1:100 @ A3



Front Elevation
 SCALE 1:100 @ A3
 HOUSE TYPE B5



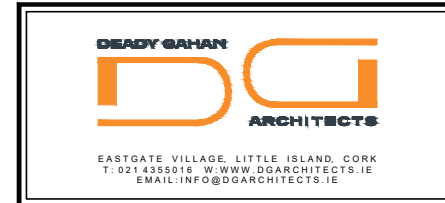
UNIT B5 - KEY PLAN
 SCALE: 1:2500



3D Render
 NTS

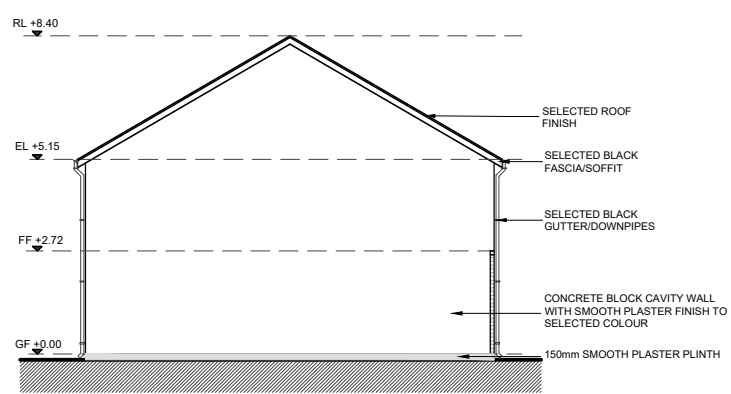
NOTE: POSITION OF NORTH POINT & LEVELS VARY.
 SEE SITE PLAN FOR ORIENTATION - DWG NO. 20185/P/003A

date	rev	name	chk	note
08.06.23	P1	PC	EJG	ISSUE FOR PLANNING

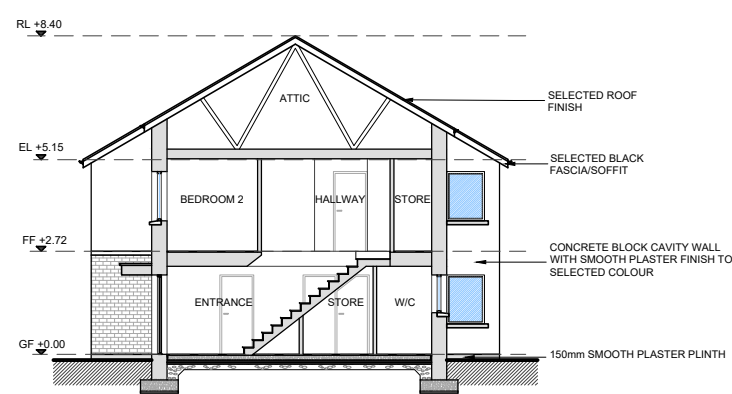


Project
 PROPOSED RESIDENTIAL DEVELOPMENT
 AT LEHENAGHMORE, CO. CORK

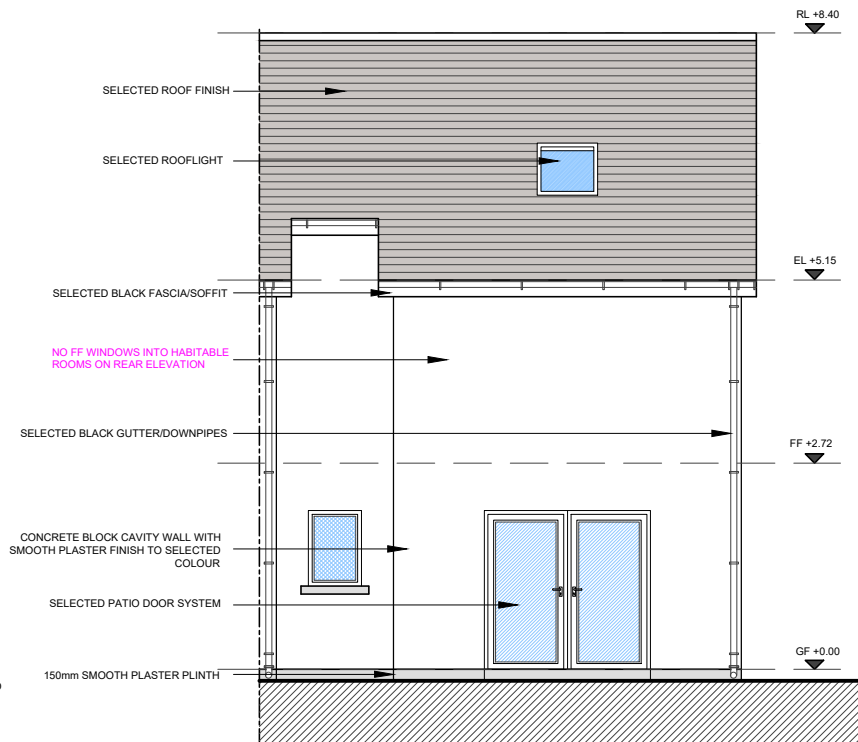
Drawing title			
HOUSE TYPE B5 - 3-BED TOWNHOUSE			
PLANS, ELEVATIONS, SECTION A-A & 3D RENDER			
Scale	Drawn	Checked	Date
1:100/200 @ A3	PC	EJG	07.06.23
Project No.	Dwg. No.	Revision	
20185	20185/P/136	P1	
Information / Comments			Tender
Planning			Construction



Side Elevation
 SCALE 1:200 @ A3
 HOUSE TYPE B5



Section A-A
 SCALE 1:200 @ A3
 HOUSE TYPE B5



Rear Elevation
 SCALE 1:100 @ A3
 HOUSE TYPE B5

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

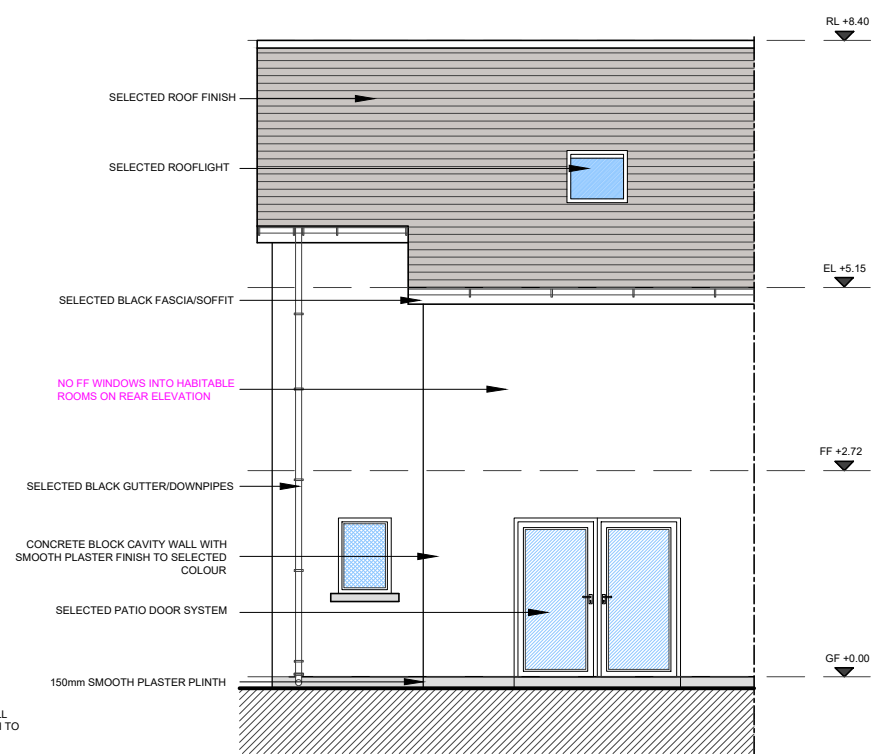
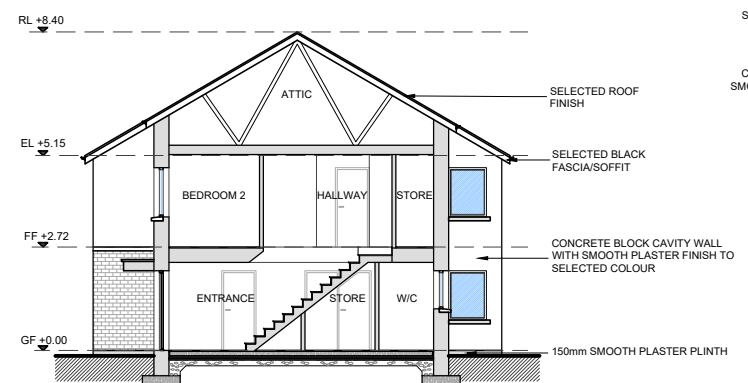
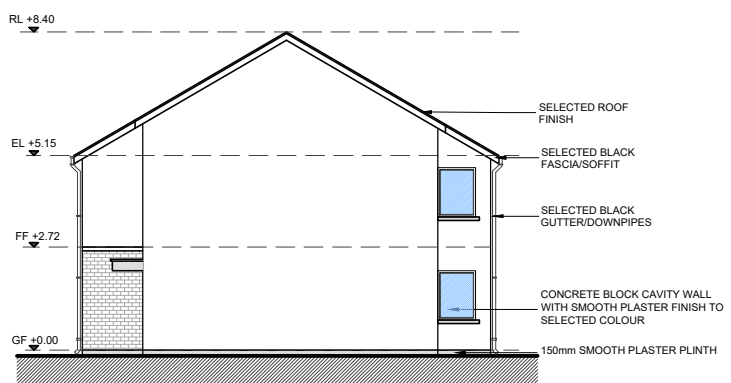
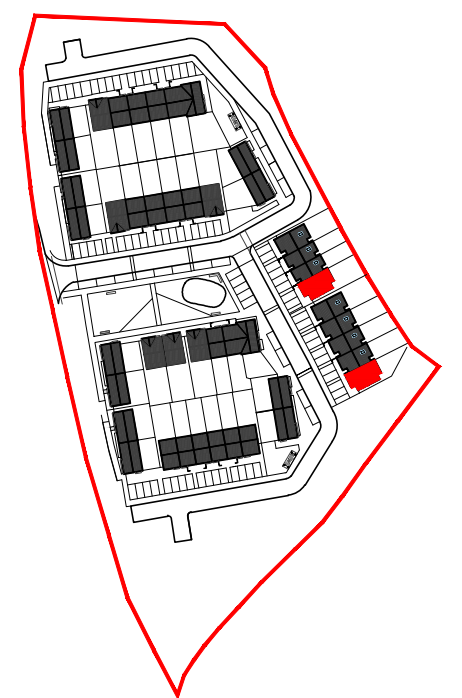
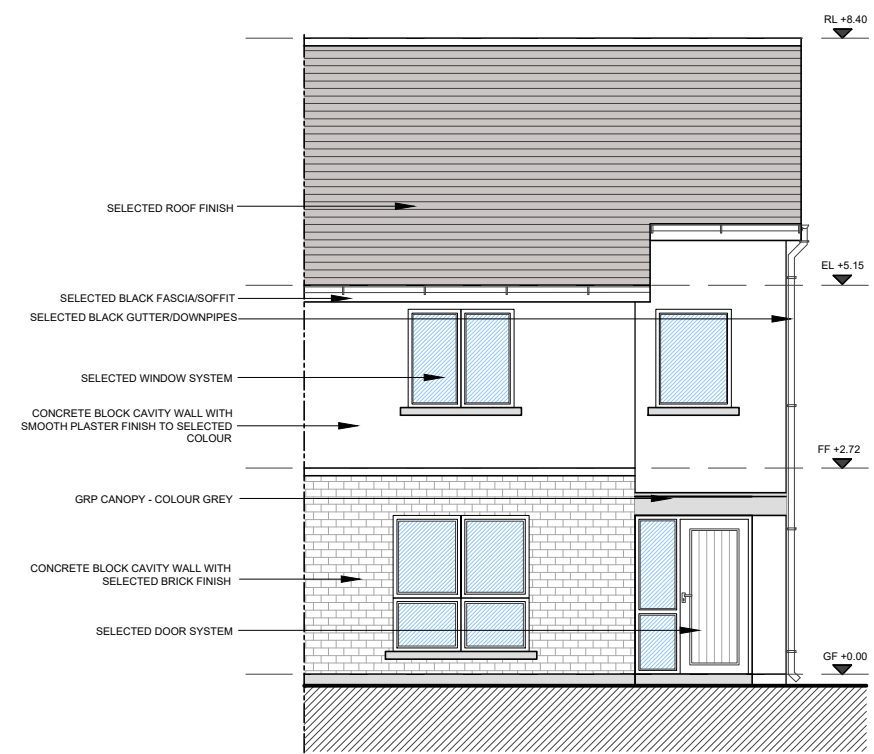
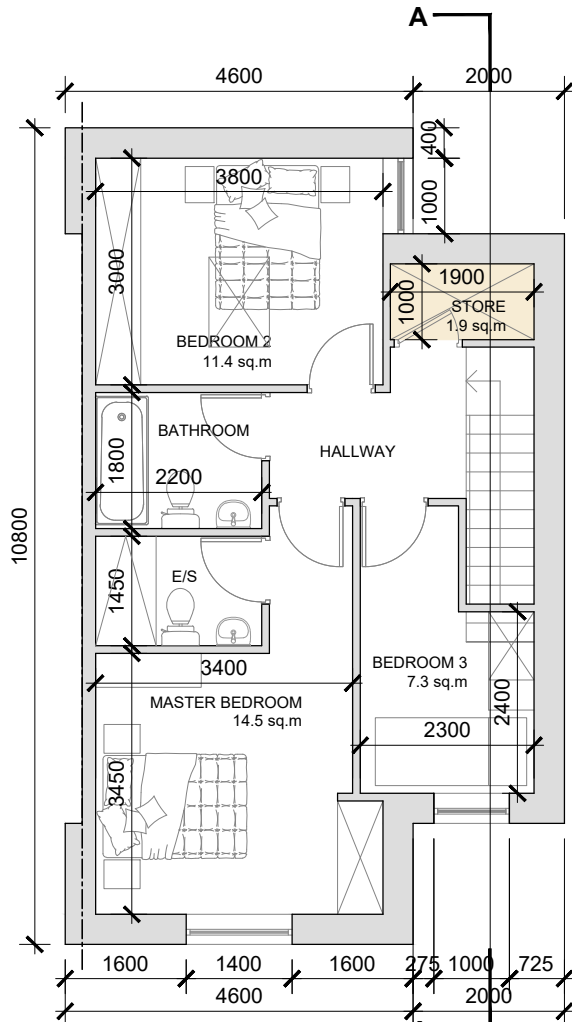
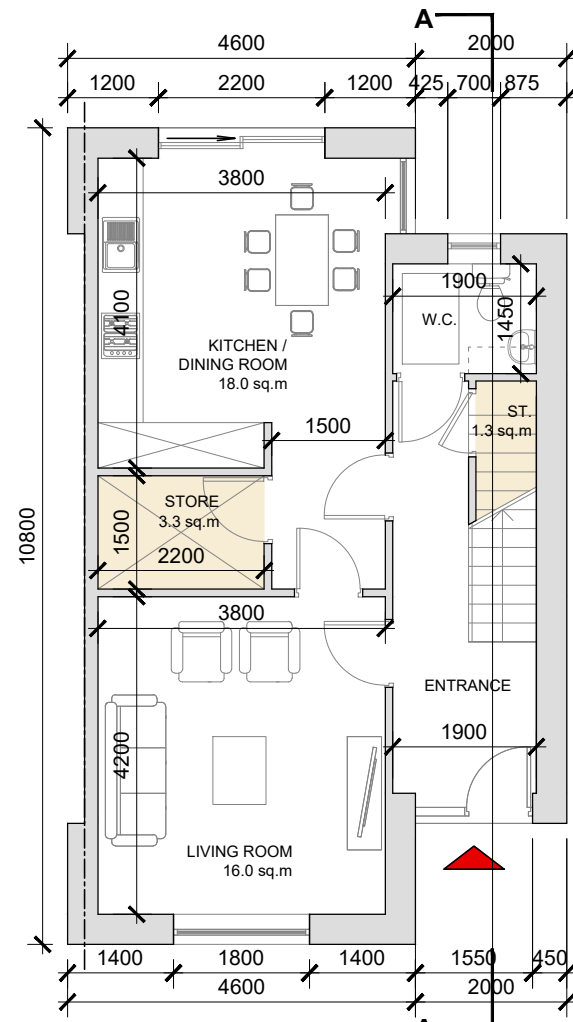
HOUSE TYPE B6

3-bed Townhouse (5 person)

AREA: 104.0 SQ.M.

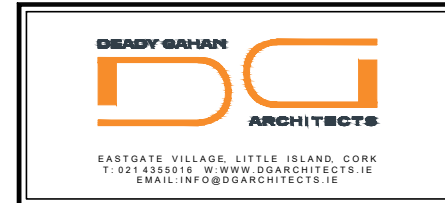
1119 SQ.FT.

STORAGE total - 6.5 sq.m.



NOTE: POSITION OF NORTH POINT & LEVELS VARY.
 SEE SITE PLAN FOR ORIENTATION - DWG NO. 20185/P/003A

date	rev	name	chk	note
08.06.23	P1	PC	EJG	ISSUE FOR PLANNING



Project
 PROPOSED RESIDENTIAL DEVELOPMENT
 AT LEHENAGHMORE, CO. CORK

Drawing title
 HOUSE TYPE B6 - 3-BED TOWNHOUSE
 PLANS, ELEVATIONS, SECTION A-A & 3D RENDER

Scale	Drawn	Checked	Date
1:100/200 @ A3	PC	EJG	07.06.23
Project No.	Dwg. No.	Revision	
20185	20185/P/141	P1	

Information / Comments	Tender
Planning	Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

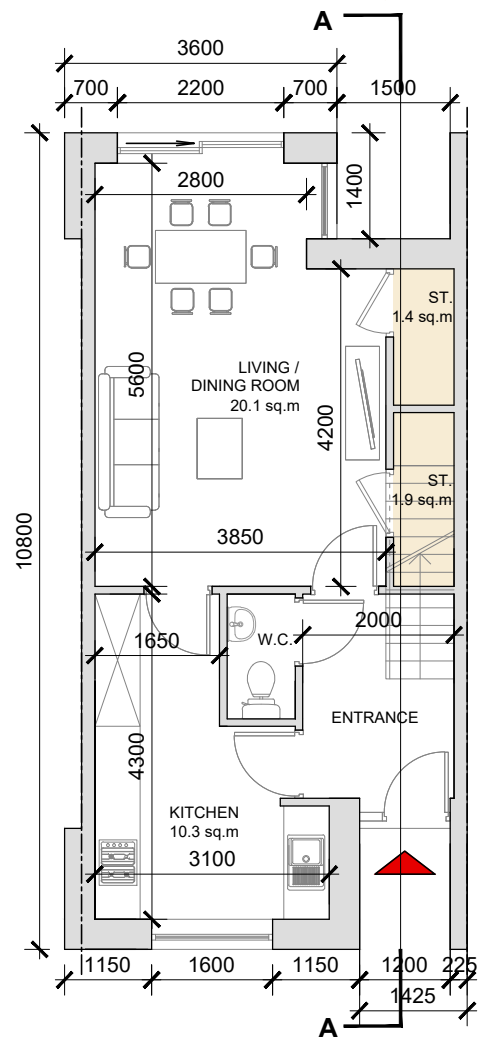
HOUSE TYPE C3

2-bed Townhouse (4 person)

AREA: 84.2 SQ.M.

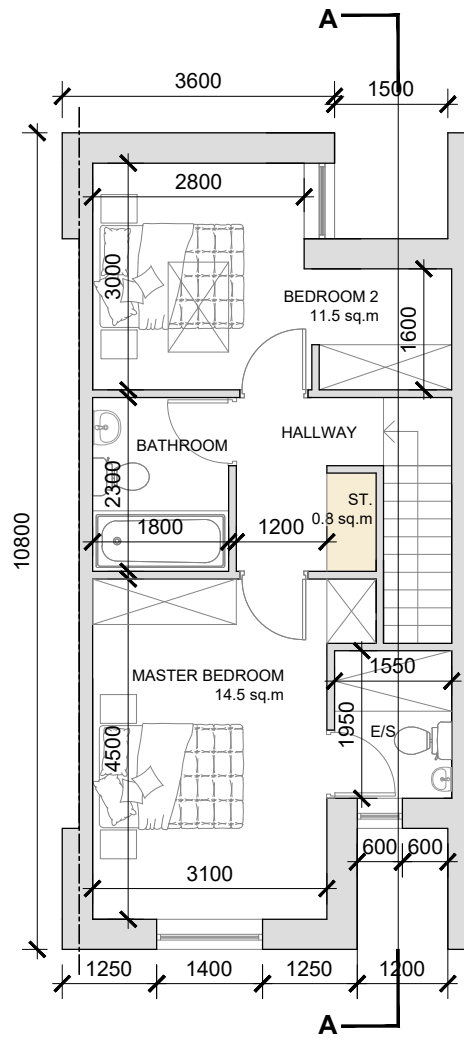
906 SQ.FT.

STORAGE total - 4.1 sq.m.



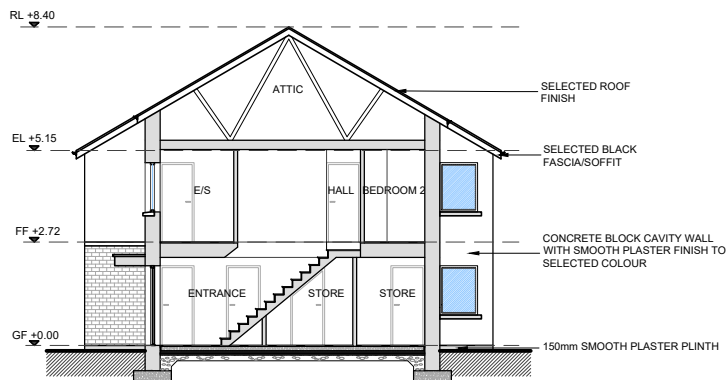
Ground Floor Plan

SCALE 1:100 @ A3

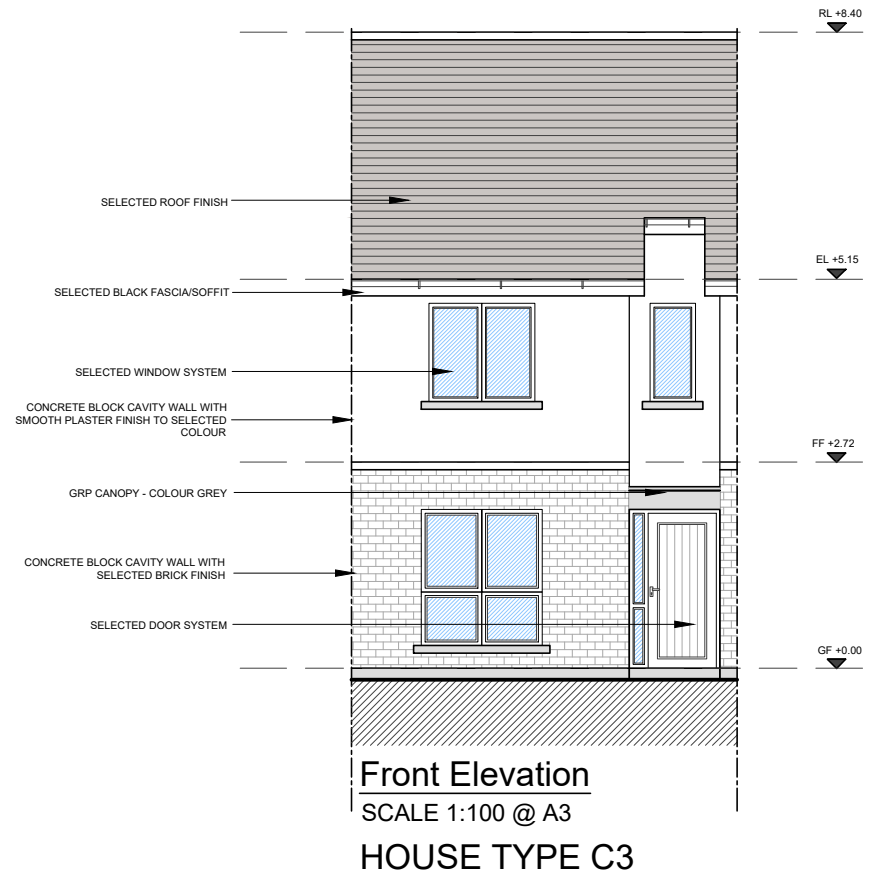


First Floor Plan

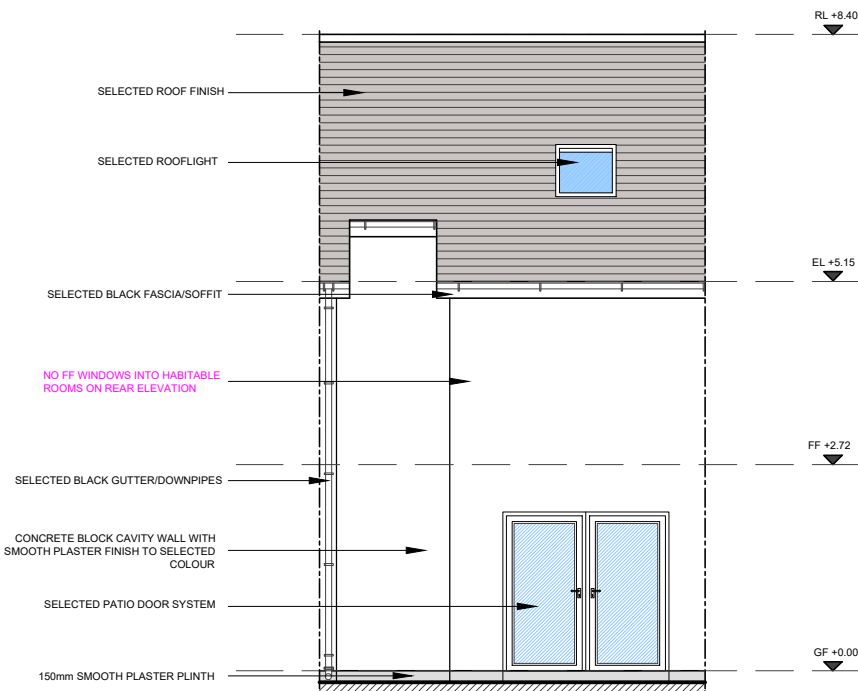
SCALE 1:100 @ A3



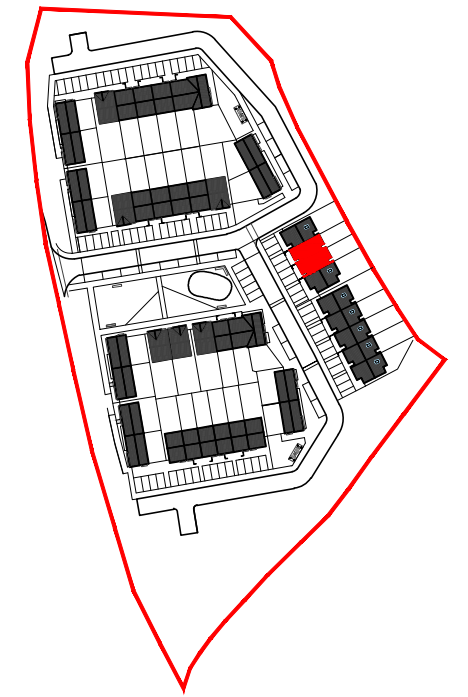
Section A-A
 SCALE 1:200 @ A3
 HOUSE TYPE C3



Front Elevation
 SCALE 1:100 @ A3
 HOUSE TYPE C3



Rear Elevation
 SCALE 1:100 @ A3
 HOUSE TYPE C3



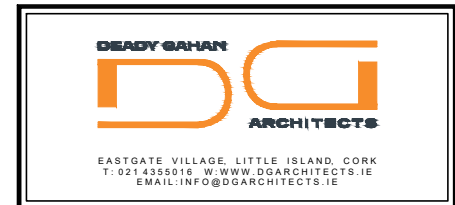
UNIT C3 - KEY PLAN
 SCALE: 1:2500



3D Render
 NTS

NOTE: POSITION OF NORTH POINT & LEVELS VARY.
 SEE SITE PLAN FOR ORIENTATION - DWG NO. 20185/P/003A

date	rev	name	chk	note
08.06.23	P1	PC	EJG	ISSUE FOR PLANNING



Project
 PROPOSED RESIDENTIAL DEVELOPMENT
 AT LEHENAGHMORE, CO. CORK

Drawing title
 HOUSE TYPE C3 - 2-BED TOWNHOUSE
 PLANS, ELEVATIONS, SECTION A-A & 3D RENDER

Scale	Drawn	Checked	Date
1:100/200 @ A3	PC	EJG	07.06.23
Project No.	Dwg. No.	Revision	
20185	20185/P/155	P1	

Information \ Comments	Tender
<input type="checkbox"/> Planning <input type="checkbox"/> Construction	<input type="checkbox"/> Tender <input type="checkbox"/> Construction