



ARCHITECTS DESIGN STATEMENT

Mixed Residential
Development

AT: NASH`S BOREEN, CORK CITY.

FOR: MR. ROY THOMAS

Date: August 2022

REV. 7

Author: Paul Horgan - Director



1.0 INTRODUCTION

CONTENTS:

- 1.0 Introduction – incl. Schedule of accommodation
- 2.0 Site (Including Location, Sustainability, Characteristics & Aerial Photos.)
 - 2.1 Development Description
 - 2.2 Executive Summary
- 3.0 Site Strategy - Concept Development
- 4.0 Development Plan Objectives
- 5.0 Urban Design Criteria
- 6.0 Site Services – Refer to the attached MHL Engineers Services Report
- Appendix 1 – Schedule of Accommodation A3





1.0 INTRODUCTION

This Architectural Design Statement has been prepared by Horgan Carroll Architects to accompany a submission on behalf of Mr. Roy Thomas for the purposes of a Part 8 Planning Application.

The submission relates to the development of 34 number residential units of mixed form, at Nash's Boreen/ Willow Bank, Fairhill, Cork City.

The document proceeds with the site context followed by a description and analysis of the proposed development.

The 12 Urban design Criteria have been considered within the design process and applied wherever possible.

Horgan Carroll Architects have adhered closely to all relevant legislation and guidance documentation, including the following publications:

- Guidelines for Planning Authorities on Sustainable Residential Development in Urban Areas 2009 and the Urban Design Manual a Best Practice Guide 2009.
- Sustainable Urban Housing Design Standards for New Apartments 2018.
- City Architects Design Principals Document June 2021.
- Cork City Council Development Plan 2015-2021 & Cobh Municipal District Local Area Plan 2017.
- Irish Building Regulations – Technical Guidance Documents
- Design Manual for Urban Roads & Streets
- Quality Housing for sustainable communities, 2007.
- Quality Apartments and Urban Housing April 2018 – Housing Agency.



1.1 Schedule of Accommodation – Refer to appendix A (A3 copy of schedule)

20-15-P-402 Detailed Schedule of Accommodation

| | |
|--------|---------------|
| Lot | N/A |
| Scheme | Nash's Boreen |
| Bidder | Roy Thomas |

| | |
|-------------------------|-------------------|
| Total no. of units | 34 |
| No. of Houses | 22 |
| No. of Apartments | 12 |
| Total Public Open Space | 300m ² |

TO BE SUBMITTED IN BOTH PDF FORMAT AND EXCEL FORMAT

REQUIREMENTS PER UNIT TYPE AS PER GUIDELINES 1 and 2

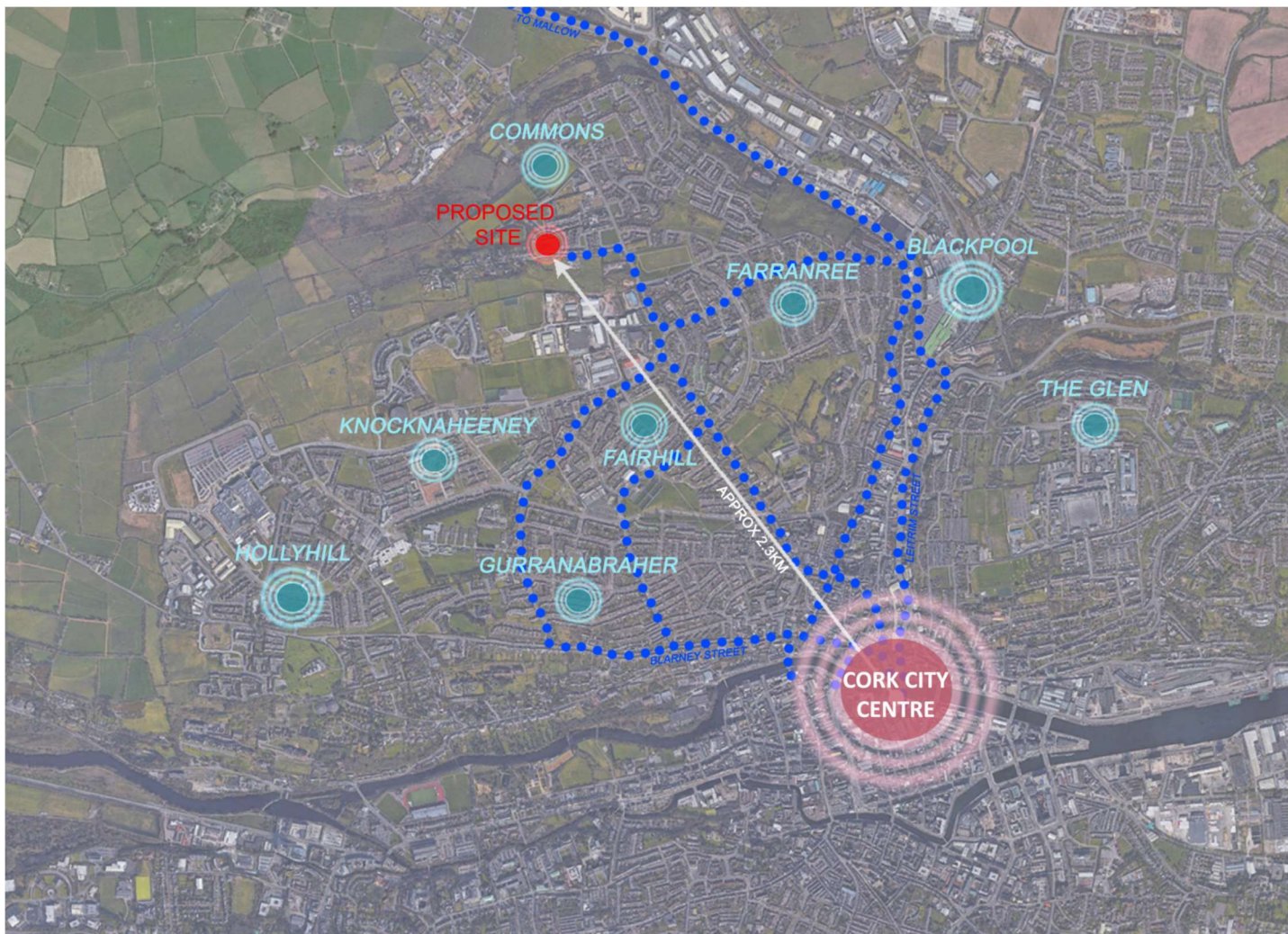
Guidelines to be included for reference as per unit type to comply with 1. Sustainable Urban Housing: Design Standards for New Apartments 2018 and 2. Quality Housing for Sustainable Communities 2007

| Unit Ref | Unit Type | No. of Storeys | Bedrooms | Bed Spaces | No. of Type - Inter | No. of Type - End | No. of Type - Total | Internal Width (m) | Internal Depth (m) | Floor Area - Gross - Internal (m ²) | Minimum Floor Area - Gross - Internal (m ²) required as per Guidelines | % Difference | Floor Area - Ground Floor (m ²) | Minimum Floor Area - Ground Floor (m ²) required as per Guidelines | % Difference | Area (SQM) Living/Dining | Minimum Area (SQM) Living/Dining required as per Guidelines | % Difference | Area (SQM) Kitchen | Minimum Area (SQM) Kitchen required as per Guidelines | % Difference | Area (SQM) Agg Living/Dining/Kitchen | Minimum Area (SQM) Agg Living/Dining/Kitchen as per Guidelines | % Difference | Area (SQM) Bed 1 | Minimum Area (SQM) Bed 1 required as per Guidelines | % Difference |
|----------|--------------|----------------|----------|------------|---------------------|-------------------|---------------------|--------------------|--------------------|---|--|--------------|---|--|--------------|--------------------------|---|--------------|--------------------|---|--------------|--------------------------------------|--|--------------|------------------|---|--------------|
| A | Duplex Apt | 1 | 2 | 3 | 2 | 3 | 5 | 10.315 | 7.405 | 76.4 | 63 | 21.3% | 76.4 | - | - | 26 | - | - | 7.4 | - | - | 33.4 | 28 | 19.3% | 14.3 | 13 | 10.0% |
| B | Duplex Apt | 2 | 2 | 3 | 0 | 1 | 1 | 5.45 | 11.3 | 88.9 | 63 | 41.1% | 47.6 | - | - | 15.6 | - | - | 14.4 | - | - | 30 | 28 | 7.1% | 13.6 | 13 | 4.6% |
| C | Duplex Apt | 2 | 3 | 5 | 8 | 1 | 9 | 5.05 | 11.3 | 104.1 | 90 | 15.7% | 54.1 | - | - | 20.1 | 13 | 54.6% | 14 | - | - | 34.1 | 34 | 0.3% | 13.8 | 13 | 6.2% |
| D | Duplex Apt | 2 | 2 | 3 | 0 | 1 | 1 | 5.45 | 9.9 | 93.6 | 63 | 51.7% | 48 | - | - | 16.6 | - | - | 12.6 | - | - | 29.2 | 28 | 4.3% | 13 | 13 | 0.0% |
| E | Duplex Apt | 1 | 1 | 2 | 0 | 1 | 1 | 6.75 | 8.1 | 49.4 | 45 | 9.8% | 49.4 | - | - | 18.3 | - | - | 7.7 | - | - | 26 | 23 | 13.0% | 13.1 | 11.4 | 14.9% |
| F | Duplex House | 3 | 3 | 5 | 0 | 2 | 2 | 5.05 | 11.3 | 137.9 | 90 | 53.2% | 54.1 | - | - | 20.7 | 13 | 59.2% | 16 | - | - | 36.7 | 34 | 7.9% | 23.3 | 13 | 79.2% |
| G | House | 3 | 4 | 5 | 0 | 4 | 4 | 4.97 | 9.46 | 132.3 | 120 | 10.3% | 47 | - | - | 26.5 | 15 | 76.7% | 8 | - | - | 44.1 | 40 | 10.3% | 16.4 | 13 | 26.2% |
| H | House | 3 | 3 | 4 | 7 | 0 | 7 | 4.97 | 9.46 | 119.1 | 102 | 16.8% | 47 | - | - | 26.5 | 13 | 103.8% | 8 | - | - | 44.1 | 34 | 29.7% | 17.8 | 13 | 36.9% |
| APT 1 | Apartment | 1 | 1 | 2 | 0 | 1 | 1 | 10.22 | 5 | 50 | 45 | 11.1% | 50 | - | - | 16 | - | - | 8.9 | - | - | 24.9 | 23 | 8.3% | 13.3 | 11.4 | 16.7% |
| APT 2 | Apartment | 1 | 2 | 3 | 0 | 1 | 1 | 14.2 | 5 | 65.2 | 63 | 3.5% | 65.2 | - | - | 25.5 | - | - | 7.5 | - | - | 33 | 28 | 17.9% | 13.2 | 13 | 1.5% |
| APT 3 | Apartment | 1 | 1 | 2 | 0 | 1 | 1 | 10.22 | 5 | 58 | 45 | 28.9% | 51.1 | - | - | 17.8 | - | - | 5.5 | - | - | 23.3 | 23 | 1.3% | 11.5 | 11.4 | 0.9% |
| APT 4 | Apartment | 1 | 2 | 3 | 0 | 1 | 1 | 13.95 | 5 | 78.5 | 63 | 24.6% | 71.1 | - | - | 22 | - | - | 6.6 | - | - | 28.6 | 28 | 2.1% | 13.2 | 13 | 1.5% |
| Total | | | 26 | 40 | 17 | 17 | 34 | | | 1035.4 | | | | | | | | | | | | | | | | | |

*All dwelling house private garden areas above minimum requirement.

| Unit Ref | Unit Type | No. of Storeys | Area (SQM) Bed 2 | Minimum Area (SQM) Bed 2 required as per Guidelines | % Difference | Area (SQM) Bed 3 | Minimum Area (SQM) Bed 3 required as per Guidelines | % Difference | Area (SQM) Bed 4 | Minimum Area (SQM) Bed 4 required as per Guidelines | % Difference | Area (SQM) Agg Bed | Minimum Area (SQM) Agg Bed required as per Guidelines | % Difference | Area (SQM) Storage | Minimum Area (SQM) Storage required as per Guidelines | % Difference | Area (SQM) Private Amenity Space | Minimum Area (SQM) Private Amenity Space required as per Guidelines | % Difference | Minimum width (m) - Bed 1 | Minimum width (m) - Bed 2 | Minimum width (m) - Bed 3 | Minimum width (m) - Bed 4 | Dual Aspect (Yes / No) | |
|----------|--------------|----------------|------------------|---|--------------|------------------|---|--------------|------------------|---|--------------|--------------------|---|--------------|--------------------|---|--------------|----------------------------------|---|--------------|---------------------------|---------------------------|---------------------------|---------------------------|------------------------|-----------|
| A | Duplex Apt | 1 | 7.7 | 7.1 | 8.3% | - | - | - | - | - | - | 22 | 20.1 | 9.5% | 5.4 | 5 | 8.0% | 19.7 | 6 | 228.3% | 2.8 | 2.1 | - | - | 3 | Yes, 2 No |
| B | Duplex Apt | 2 | 7.5 | 7.1 | 5.6% | - | - | - | - | - | - | 21.1 | 20.1 | 5.0% | 5.3 | 5 | 6.0% | 7.6 | 6 | 26.7% | 3.15 | 2.1 | - | - | Yes | |
| C | Duplex Apt | 2 | 12.4 | 11.4 | 8.8% | 7.1 | 7.1 | 0.0% | - | - | - | 33.1 | 31.5 | 5.1% | 9 | 9 | 0.0% | 19 | 9 | 111.1% | 2.95 | 2.85 | 2.1 | - | Yes | |
| D | Duplex Apt | 2 | 7.6 | 7.1 | 7.0% | - | - | - | - | - | - | 20.6 | 20.1 | 2.5% | 5.2 | 5 | 4.0% | 7.6 | 6 | 26.7% | 3.25 | 2.1 | - | - | Yes | |
| E | Duplex Apt | 1 | - | - | - | - | - | - | - | - | - | 13.1 | 11.4 | 14.9% | 3.1 | 3 | 3.3% | 13.9 | 5 | 178.0% | 2.8 | - | - | - | Yes | |
| F | Duplex House | 3 | 16.4 | 11.4 | 43.9% | 10.8 | 7.1 | 52.1% | - | - | - | 30.6 | 31.5 | 60.6% | 11.1 | 9 | 23.3% | 18.6 | 9 | 106.7% | 2.8 | 3.7 | 3 | - | Yes | |
| G | House | 3 | 12.5 | 11.4 | 9.6% | 8.3 | 7.1 | 16.9% | 7.1 | 7.1 | 0.0% | 44.2 | 43 | 2.8% | 7 | 6 | 16.7% | Varies* | 80 | - | 3.35 | 2.86 | 2.72 | 2.15 | Yes | |
| H | House | 3 | 8.3 | 7.1 | 16.9% | 7.1 | 7.1 | 0.0% | - | - | - | 33.2 | 32 | 3.8% | 5 | 5 | 0.0% | Varies* | 80 | - | 3.65 | 2.72 | 2.15 | - | Yes | |
| APT 1 | Apartment | 1 | - | - | - | - | - | - | - | - | - | 13.3 | 11.4 | 16.7% | 3.4 | 3 | 13.3% | 26 | 5 | 420.0% | 2.9 | - | - | - | Yes | |
| APT 2 | Apartment | 1 | 7.4 | 7.1 | 4.2% | - | - | - | - | - | - | 20.5 | 20.1 | 2.0% | 5.3 | 5 | 6.0% | 43 | 6 | 616.7% | 2.8 | 2.1 | - | - | Yes | |
| APT 3 | Apartment | 1 | - | - | - | - | - | - | - | - | - | 11.5 | 11.4 | 0.9% | 3 | 3 | 0.0% | 5.1 | 5 | 2.0% | 3.2 | - | - | - | Yes | |
| APT 4 | Apartment | 1 | 7.2 | 7.1 | 1.4% | - | - | - | - | - | - | 20.4 | 20.1 | 1.5% | 5.6 | 5 | 12.0% | 6.1 | 6 | 1.7% | 3 | 2.1 | - | - | Yes | |

2.0 Site (Including Location, Sustainability, Characteristics & Aerial Photos.)



2.1.1 MACRO CONTEXT

The site comprising of 7014 sq.m. is situated in the northern Environs of Cork City, approx. 2.3km from Cork City Centre (radius) and zoned as Existing Built-Up Area.

The site is surrounded by existing residential developments to the north, known as Fairfields Meadow Estate and Willow Bank Estate to the east. The western boundary borders a detached bungalow and the south (across Nash's Boreen) undeveloped residential zoned lands.

The site is in close proximity to a variety of amenities such as retail services, education, healthcare, sports clubs and recreation grounds.

Cork City is easily accessible by various routes leading from the northern environs by vehicular, cycle and pedestrian means via the main access routes which include Blarney Street and the N20 Leitrim Street.



2.0 Site (Including Location, Sustainability, Characteristics & Aerial Photos.)



Google Earth image of subject site in relation to surrounding business, retail, leisure activities other amenities

2.2 MICRO CONTEXT

The subject site is in close proximity to a wide variety of amenities including:

Retail:

Blackpool shopping centre is located 1.9 km to the east comprising of a Dunnes Stores, Aldi, Woodies, Sports Direct Brand Max and a variety of other destination retail outlets. Lidl is also located approx.. 800m away.

Business:

In addition to the retail opportunities for employment there are numerous businesses and business parks in the surrounds, namely: Apple, St. Mary's Medical Campus, Churchfield Business Park, Exchange Business Park and Ard Alainn Business Park. Furthermore, West Link Business Park and Kilbarry Business Park are located in the vicinity of the Blackpool Shopping Centre.

Education & Schools:

The area is well serviced by schools and education facilities such as North Presentation Secondary School, North Monastery Secondary School, Saint Vincents Secondary and Scoil Mhuire Fatima. Education facilities include the Knocknaheeny Learning Campus and Education & Resource Centre.

Medical:

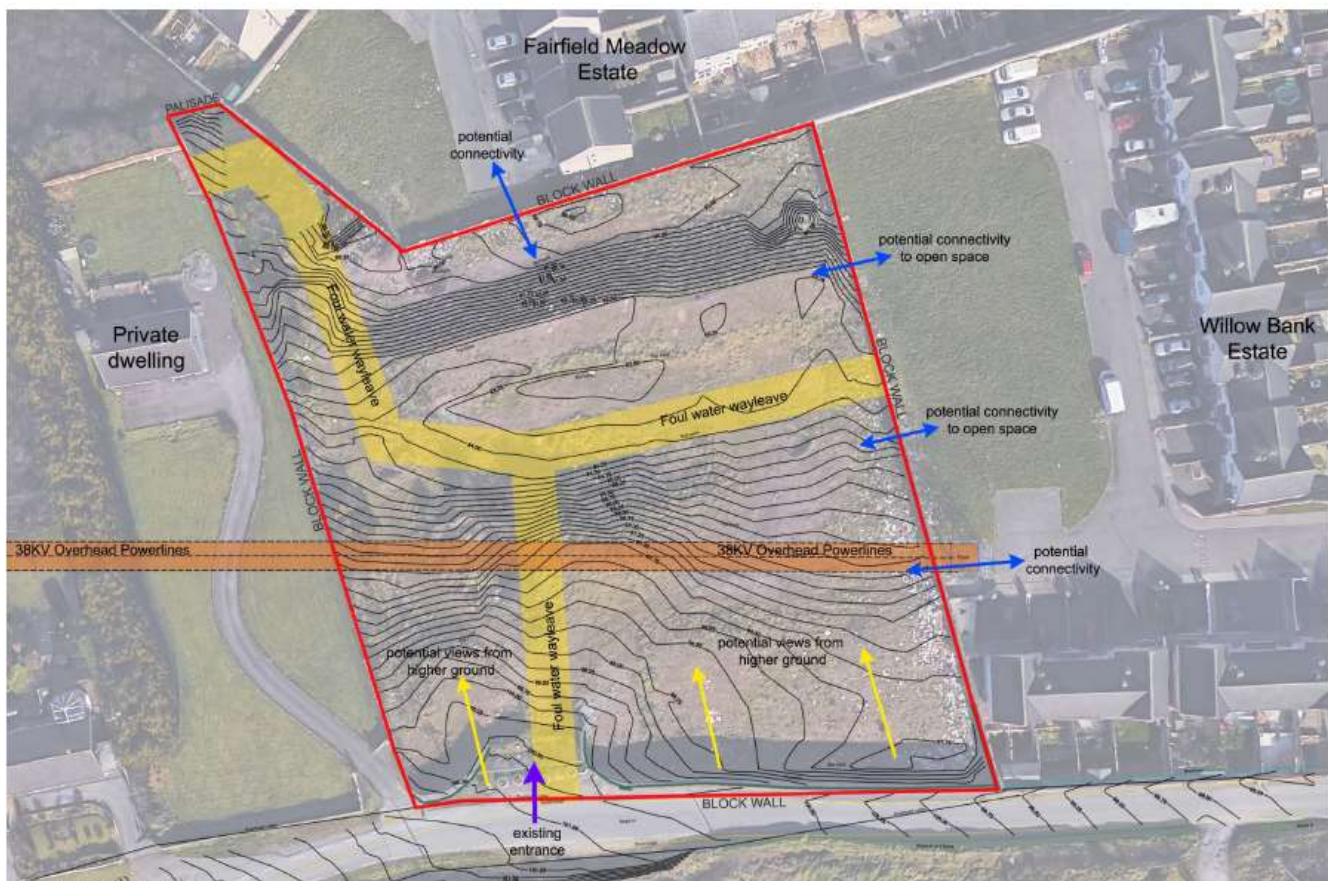
The Saint Mary's Medical Campus located in Knockneheeny provides various medical services to the surrounding neighborhood's and the greater Cork City area.

Sports Facilities & Playgrounds:

The area is well serviced by sporting facilities which include numerous GAA clubs such as Glen Rovers, St. Vincents and Na Piarasigh.

The Sam Allen Sports Centre, Gerry O Sullivan Park and Leisure World are in the surrounding area and provide important recreational opportunities in the surrounding neighborhood's.

2.0 Site (Including Location, Sustainability, Characteristics & Aerial Photos.)



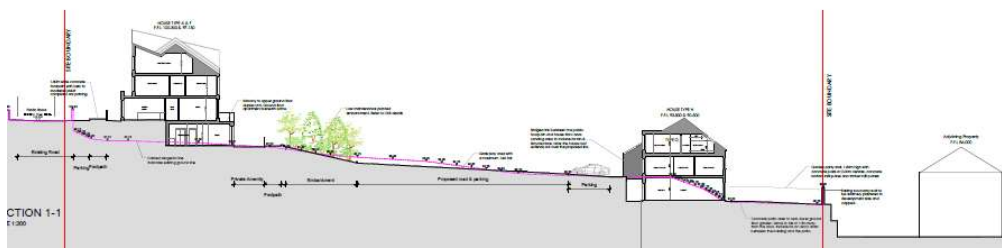
Site analysis of subject site

2.3 SITE ANALYSIS

Site Constraints:

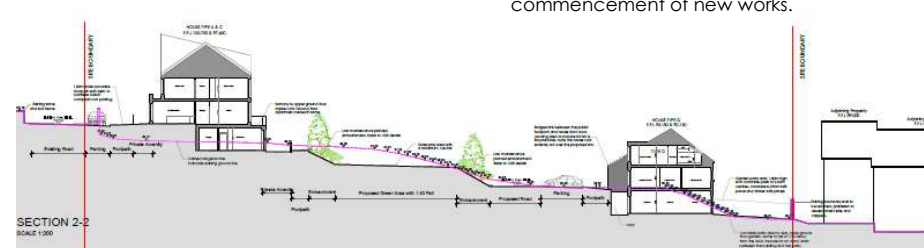
The site is suitable for development with the following constraints to be taken into account:

- Steep slope from the southern to northern boundary.
- Retaining structures will be required where changes in ground level are extreme.
- The nature of the site contours result in difficulty in achieving vehicular access to the site from Nash's Boreen without substantially reducing potential site density.
- 38KV overhead powerlines traverse the site east to west and require a clear wayleave of approx. 20.0m in width. In order to maximise development potential the subject lines require undergrounding.
- Foul and surface water drains traverse the site east to west and north to south. The wayleaves which accompany the services impact the nature of development on the site.
- Potential connectivity to surrounding residential developments is challenging due to substantial height differences at the site boundary.
- Existing residential schemes do not address Nash's Boreen, resulting poor passive surveillance of the laneway.
- Under a previous planning permission, development works including 19 houses were substantially constructed on the site. Through legal means, Cork County Council were forced to demolish and make the site safe on Health & Safety Grounds. In making the site safe, structures were leveled and materials compacted. Existing foundations were left undisturbed. All pre-existing builders rubble and foundations will require removal foundations prior to commencement of new works.



Nash's Courtyard

DESIGN STATEMENT

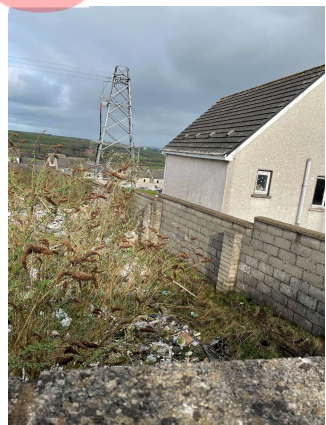


PLANNING 1.0

2.0 Site (Including Location, Sustainability, Characteristics & Aerial Photos.)



Image 1



Nash's Courtyard

Image 2



DESIGN STATEMENT

Image 3



PLANNING 1.0

2.4 PRESENT CONDITION:



Image 4

Currently the site is being used for fly tipping of house-hold waste, building materials and other rubbish including bedding etc.

Examples of anti-social behavior including numerous bon-fires and vandalism are common.

The site is overgrown in parts with pathways following desire lines to access Nash's Boreen, Willow Bank View and the site itself clearly defined.

Sections of the site boundary walls have been demolished with forming openings to both Fairfield Lawn to the north and Nash's Boreen to the south.

A high wall separating the site from Nash's Boreen protects the site from public view and most likely encourages anti-social behavior where passive surveillance cannot occur.

The nature of the household waste on the site would suggest that rodents are an issue.

The present condition of the site must pose extreme difficulties for adjoining property owners and have a hugely detrimental impact on family life.

In particular concerns regarding bonfires and the spread of fire must be paramount.

If must be hoped that the proposed development of the subject site as envisaged in this document can greatly improve and enhance the quality of life in the general vicinity of the site.

2.0 Site (Including Location, Sustainability, Characteristics & Aerial Photos.)



Example 1 of site fly tipping January 2022



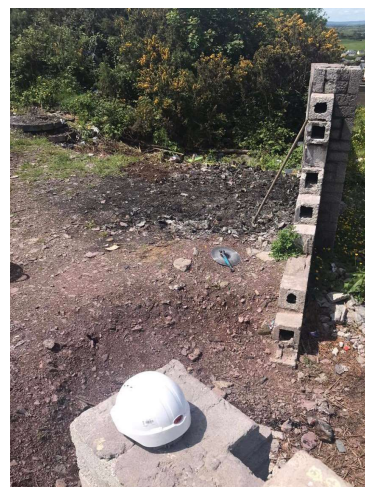
Example 2 of site fly tipping January 2022 and demolished boundary wall in background



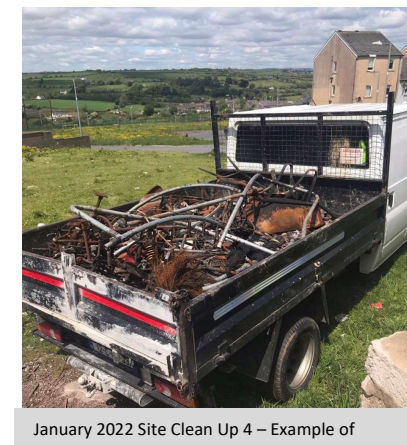
January 2022 Site Clean Up



January 2022 Site Clean Up 2



January 2022 Site Clean Up 3 – demolished boundary wall



January 2022 Site Clean Up 4 – Example of metal waste removed from site

2.5 CURRENT CONDITION & RESPONSE:

As referenced at 2.4 above, Fly tipping of general household rubbish and general waste including furniture and construction waste on both large and small scale occur continuously on the site.

In some instances, waste is thrown over the external boundary wall of the site. On a larger scale, the aftermath of truckloads of waste being brought to site and tipped from adjoining estates is obvious from time to time.

Within the last Eighteen months, the boundary wall at the northwestern corner of the site abutting Fairfield Meadows had been demolished by unknown third parties. It would appear that the purpose of the demolition works was to allow a truck/ car to back onto the site and fly tip.

This wall was reconstructed in 2021 and demolished again shortly afterwards. Fly tipping continued thereafter.

Our client undertook a major cleanup of the site last January and a new clean up of the site is presently underway.

It is envisaged that the proposed development as currently designed will reduce the risk substantially of recurrent fly tipping and should greatly improve security, quality of life and general environment of the surrounding properties.

2.0 Site (Including Location, Sustainability, Characteristics & Aerial Photos.)



Front / southern boundary wall – internal and external. Additional photos available on request.



Eastern boundary wall – Internal & external image



Northern boundary wall – Internal image



2.5 EXISTING SITE BOUNDARIES

EXISTING SOUTHERN SITE BOUNDARY:

At present there is a minimum 2.0m fair faced block wall on the southern boundary. This wall demarks the site boundary with Nash's Boreen (The public roadway) and is partially a retaining structure.

The boundary is clad externally in natural stone. However, sections of the stone cladding is being removed as a result of vandalism.

The proposed site entrance for the previously constructed scheme is at the western end of this boundary.

It is proposed under the current design to remove this wall in its entirety and for the front doors of upper ground floor duplex units to address Nash's Boreen.

EXISTING WESTERN SITE BOUNDARY:

The western wall consists of an approx.. 2.0m high, fair faced block wall with concrete capping.

It is proposed to retain this wall. Proposed changes in ground level will require underpinning of the wall at some locations on the development side.

EXISTING NORTHERN BOUNDARY:

The northern boundary consists of a 215mm block on flat wall. The wall is generally 2.0m high on the development side. However, at certain locations, the wall is up to 5.0m high on the northern side in the form of a retaining wall facing the rear of existing houses at Fairfield Lawn.

The wall has been partially demolished by vandalism at the western end. It is proposed to remove the portion of this wall addressing the amenity space at the southern tip of Fairfield Lawn. Providing conductivity and passive surveillance of the space.

EXISTING EASTERN BOUNDARY:

It is proposed to remove the majority of the current boundary wall separating the subject site from Willow Bank View.

The remainder of the wall abounding the end of terrace house at the south western corner of Willow bank and the rear of Block C of the proposed development will be plastered where fronting onto the public space.

2.0 Site (Including Location, Sustainability, Characteristics & Aerial Photos.)

2.6 AERIAL IMAGE



Aerial view of the site circa 2020



Aerial view of the site circa 2005



2.2 EXECUTIVE SUMMARY



- Index:
- New Green Area to be included
 - Area to be discounted
 - Shared Existing Green Area to be included
 - Adjoining Local Area to be discounted
 - Development Area
 - Adjoining Local Area
- Nash's Courtyard

2.8 EXECUTIVE SUMMARY

KEY DEVELOPMENT INFORMATION:

Red Line Density:

Total Site Area (Red Line) = 7051.6m² / 0.70HA

Areas To Be Discounted When Calculating Density i.e. Embankments Resulting From Steep Contours & ESB Tower e.t.c. (Hatched Solid Blue) = 1231m²

Site Developable Area = 7051.6m² - 1231m² = 5820.6m² / 0.58HA

Site Development Density (34 Housing Units / 0.58HA Site Developable Area) = **58 units per ha**

Red Line Amenity Space:

Site Developable Area = 5820.6m² / 0.58HA

Useable New Amenity Space (Area With Gradient 1:40 Or Less, Hatched Solid Green) = 500m² / 0.05HA

% of New Amenity Space In Red Line (Amenity Space + Developable Area) = 500m² ÷ 5820.6m² = **8.6%**

Yellow Line Density:

Total Integrated Site & Adjoining Local Area (Yellow) = 14730m² / 1.47HA

Areas To Be Discounted When Calculating Density i.e. Embankments Resulting From Steep Contours & ESB Tower e.t.c. (Hatched Solid Blue & Dashed Blue) = 1231m² + 472m² = 1703m² / 0.17HA

Site & Adjoining Local Developable Area = 14730m² - 1703m² = 13027m² / 1.30HA

Site Development & Adjoining Local Area Density (56 Housing Units / 1.30HA Site Developable Area & Adjoining Local Area) = **38 units per ha**

Yellow Line Amenity Space:

Site & Adjoining Local Developable Area = 14730m² - 1703m² = 13027m² / 1.30HA

Useable New Amenity Space To Be Integrated Shared With Existing Local Amenity Space With Improvements Proposed (Area With Gradient 1:40 Or Less, Hatched Solid Green & Dashed Green) = 500m² + 1688.3m² = 2188.3m² / 0.21HA

% of New & Shared Existing Amenity Space of Developable Area & Adjoining Local Area = 2188.3m² ÷ 13027m² = **14.9%**

3.0 SITE STRATEGY – CONCEPT DEVELOPMENT



3.1 CONCEPT DEVELOPMENT

At concept stage, a pre-planning submission to Cork City Council in November 2020 set out the various design opportunities which had been considered.

Considerations at concept design stage included:

- Addressing both Nash's Boreen and the surrounding housing schemes and their public realms.
- Improving and providing for pedestrian and cyclist connectivity between the proposed scheme and the existing surrounding schemes.
- Reduce the impact of vehicular traffic on the existing Willow bank view by splitting vehicular access between Willow Bank and Nash's Boreen.
- Improving the public realm in the Nash's Boreen area.
- Improving passive security on both Nash's Boreen and within the site by addressing the public space with front door access points, overlooking windows and increased pedestrian and cyclist movements through, and surrounding the site.
- The enhancement of the existing public space within Willow Bank and the provision of high quality amenity and passive green space within the proposed development to service proposed and existing housing.
- General improvement of the public realm to include the cessation of fly tipping and general anti-social behavior on the adjoining site.
- The use of split level units to address both Nash's Boreen and the interior of the site as a method of accommodating the steep contours of the site and providing connectivity to Nash's Boreen.

Conclusion:

We are of the opinion that this proposal offers the potential for the provision of a sustainable neighborhood with high quality amenity space, pedestrian and cyclist priority and connectivity, integration with the existing community and a broad mix of unit types.

The proposal offers the opportunity to engage with Nash's Boreen and lends itself to the future development of the lands directly to the south in a similar fashion.

3.0 SITE STRATEGY – CONCEPT DEVELOPMENT



1. Existing pathway to the north-western corner

4. Windows on the external gables reduce the mass of the new buildings and in the cases of Block B & C provide overlooking and passive surveillance of adjoining public spaces.



2. Provision of the pedestrian stepped access extending from Nash's Boreen into the lower "courtyard" with the intent of the creation of activity and passive security has resulted in a complete redesign of the area.

Buildings on both sides of the pathway have been enhanced to form a gateway to the scheme from Nash's Boreen. The eastern side now extending to four stories and the western side three.

The eastern block is a book end to the now elongated terrace extending eastward and incorporates two number two storey duplex units with a front door and balconies overlooking the stepped pathway. Note the omission of the break in Block E, Reference 3.

3.2 CONCEPT DEVELOPMENT

1. The provision of pedestrian link with Fairfield Lawn to the north provides an opportunity to give pedestrian and cyclist connectivity between Fairfield Lawn, the proposed development and Willow Bank View.
2. A two-storey building containing 4 number apartments addressing the pathway improve security in the area, providing front door access and overlooking windows.
3. The two-storey block of 4 apartments extends in a linear fashion. The block maximises the available space between the wayleave extending north south and the western site boundary.

This in turn provides an opportunity for a public space and pedestrian connectivity to be provided between Fairfield Lawn and the proposed development. Due to level constraints, a Part M compliant steps and ramp are required to provide such access. The new laneway has a maximum gradient of 1:21 in accordance with DMUR's.

The apartments ensure continuous activity in an area which is presently an area renowned for fly tipping and anti-social behavior.

It should be noted on numerous occasions, despite remedial works. The boundary wall at this location has been removed and a pathway worn to Nash's Boreen via the subject site suggesting a Desire line already exists.

4.0 DEVELOPMENT PLAN OBJECTIVES – Cunnane Stratton Reynolds Planning Consultants

4.1 Development Proposal.

Permission for the erection of 34 Residential units is sought by Cork City Council within their own jurisdiction. Therefore, the proposal is for development by a Local Authority. The process for seeking consent for such development is prescribed under Part 8 of the Planning and Development Regulations, 2001 as amended.

The erection of 34 residential units comprises of 1 no.1 Bed Maisonette Apartment, 7 no. 2 Bed Maisonette Apartments, 11 no. 3 Bed Maisonette Apartments, 7 no. 3 Bed three storey terraced properties, 4 no. 4 Bed three storey terraced properties, 2 no. 1 Bed apartments and 2 no. 2 Bed apartments, car parking, landscaping, boundary treatments, and all ancillary site works and services at Nash's Boreen, Cork. Access to the proposed development will be via an existing access from Willow Bank to be upgraded as part of this development. It is proposed that the development will be managed by an Approved Housing Body.

| | |
|--------------------------------------|-------------------------------|
| Total Developable Site Area | 0.714 ha |
| No. of Units Proposed | 34 |
| Density | 47.6 Units per Hectare |
| Communal Open Space provision | 0.085 ha |
| Car Parking Provision | 33 no.spaces (1 per dwelling) |

Table 1- Summary of Development

The proposed layout has been designed as a direct response to the existing context and the natural features that are present on site. There is a fall across the site to the northern corner which is approximately a decrease of 2.4m in elevation. The Upper Fairhill Road has an enlargement corridor to the east of the proposed site, and this creates a natural buffer between the Upper Fairhill Road and the new residential houses via the Willow Bank View Estate.

The existing site has a pylon defined line running west-east and this is manifested by the ESB overhead cables. The proposed eastern part of the site has a higher density of vegetation consisting of immature trees, scrub land and grasses.

Pedestrian connections between the site entrance and the on-site amenities will create an inclusive development that is accessible for all. The connections will create a new frontage onto Nash's Boreen which will improve the visual amenity of the area. Units are positioned around the open spaces which promotes physical interaction between the residents and will create a sense of place within the development. This also allows for the passive surveillance of these amenity spaces.

The strategy for the site is to form a perimeter of houses that will join onto the existing residential uses to the east which will create a gateway into the new community. The site accommodates a variety of house types with a few maisonette apartments and three storey terraced units. This central part of the development is orientated to provide overlooking of the public open spaces. This central open space amenity focal point is created with both a hardstanding and grass play area.



Figure 2- Site Layout Plan

The key planning considerations pertaining to the proposed residential development at Nash's Boreen, Cork are considered below.

4.1.1 Principle of Proposed Development / Compliance with Planning Policy

This area was transferred from the Cork County Council jurisdiction to Cork City Council jurisdiction in 2019 as per the boundary extension. The relevant policies for this development are located within the Cork City Development Plan 2022-2028 as was adopted by the Elected Members of Cork City Council at a Special Meeting on 27th June 2022. The Plan comes into effect 6 weeks from the date of adoption, on 8th August 2022. The Site is zoned ZO 01, Sustainable Residential Neighbourhoods as per the Cork City Development Plan



Figure 3- The Site Location within Cork City Council shaded in beige designated as ZO 01, Sustainable Residential Neighbourhoods (Source: Cork City Council Development Plan 2022)

4.0 DEVELOPMENT PLAN OBJECTIVES

Both the shape of the zoned land and the site topography have influenced the layout of the proposed development. In addition, the proposal is in keeping with existing built residential development structures within the zoned development boundary. The proposed development will comprise a consistent land use within this established residential area. It will make provision for homes within the urban area and is contiguous to established residential development where existing public infrastructure is available including continuous connectivity to both the Blackpool Urban Centre and City Centre.

This proposal will contribute towards accommodating the projected and target increase in this area of the North Environs which ultimately will assist in rebalancing the City's future population growth as per the role of the North Environs Plan.

Having regard to the above, the proposed development is considered acceptable in principle and consistent with the overarching national, regional and local relevant policies and objectives against which it will be assessed.

4.1.2 Density

The City Development Plan sets out a density range of 40-60 u/ha for sites zoned for the outer suburbs dependent on location. In the case of this proposal, 40-60 u/ha is acceptable as city suburban development. The site comprises a development area of 0.714Ha. From initial plans, the density proposed is an appropriate response to this site having regard to the site conditions, context and policy guidance with regards residential densities.

The density proposed for this development is appropriate for this site having regard to the prevailing densities of existing residential development, character of the area, and to ensure the protection of existing residential amenities.

4.1.3 Layout and Design

The layout and design of the proposed development has been devised in accordance with the Quality Housing for Sustainable Communities Guidelines 2007, Guidelines on Sustainable Development in Urban Areas 2009 and the Urban Design Manual 2009. The layout and design of the proposed development aims to complement the existing Fairfield Meadows and Willow Bank View estates to the north and east respectively whilst ensuring that it is distinctive as a separate development.

4.1.4 Open Space and Boundary Treatment

The proposed development includes a large area of open space of 0.085 Ha i.e., 12% of the site area. This open space is located centrally in the proposed development within easy access to all dwellings. This is in keeping with the minimum provision of Cork City Development Plan open space requirement of 12-18%.

The proposed open space is well overlooked by all dwellings to ensure passive surveillance. There are recreation facilities provided with both a hardstanding and grass play area. The large area of open space will facilitate play for all ages. The green space also incorporates a pathway alongside the open space. Additionally, there is a high degree of soft landscaping carried out in the boundary treatment in ensuring that Trees and vegetation will be visible throughout the open space.

4.2 Planning History

A search of the Council's online planning enquiry system indicates that there have been two complete applications, in addition to one incomplete planning application associated with this site. A record of planning applications on the site is listed below.

| | |
|--------------------|---------------------------|
| Planning Reference | 04/8711 |
| Applicant | Prestige Construction Ltd |
| Date Received | 26/11/2004 |
| Description | 18 no. dwellinghouses |
| Decision | Incomplete Application |

| | |
|--------------------|---|
| Planning Reference | 04/9083 |
| Applicant | Prestige Construction Ltd. |
| Date Received | 10/12/2004 |
| Description | 18 no. dwellinghouses |
| Decision | Refused (reason: Inadequacies with Proposed Layout) |
| Decision Date | 30/08/2005 |

| | |
|--------------------|--|
| Planning Reference | 06/4628 |
| Applicant | Donal Quirke & Paul Duggan |
| Date Received | 08/02/2006 |
| Description | 19 no. dwelling units comprising of 2 no. two storey detached dwellings, 6 no. two storey semi-detached dwellings, 10 no. two storey terraced dwellings with attic space and 1 no. split level dwelling and all associated site works and services |
| Decision | Conditionally Approved by ABP (Ref No. 218812) |
| Decision Date | 05/02/2007 |

Table 2- Planning History of Proposed Site

4.2.1 Planning Ref: 04/9083

Planning Reference 04/09083 was refused on several grounds which are summarised below:

- Inadequacies in the proposed layout with a number of dwellings having insufficient private open space.
- Proposed boundary fence for each individual plot not acceptable with a more solid boundary fence needed such as a block wall/concrete post.
- No public open space proposed as part of the proposed development.
- Car parking spaces omitted for all dwellings and the positioning of the proposed parking was not considered acceptable. A minimum of two car parking spaces was advised for each property.

4.0 DEVELOPMENT PLAN OBJECTIVES

- Issues around residential amenity to properties to the west. A lack of separation distance between both properties and the proximity of these properties and their ridge height was interpreted as being overbearing.
- The proposal was deemed disrespectful to the contours of the site as the floor levels were above the existing ground levels.
- House types were seen as being identical and a better mix was sought.
- There were issues regarding access to the site from Nash's Boreen.

The reasons for refusal set out in the 2005 application have been considered in this development and issues from that time have been addressed. This development proposes a minimum of one car parking space provided for each property which may be less parking provision but is reflective changing attitudes towards sustainable transport modes since this refusal in 2005.

The proposed development has been designed to enhance sufficient boundary treatment screening between the proposed site and neighbouring properties to the west. This current proposal types provides for a greater mix of units with two storeys terraced and maisonette apartment units.

Shared access to the site is not provided by Nash's Boreen and thus will not involve any alteration or have any direct impact to the layout and safety of any route through Nash's Boreen.

4.2.2 Planning Ref: 064628

Planning Reference 06/4628 was approved in 2006 for the estate known as Radharc Na Gleanna. In June 2008. Construction on site ceased and 16 dwelling units were partially completed with only the exterior of each unit completed. Existing site development was demolished in May 2014 by Cork City Council after a few years of vandalism, dumping, fires and the deterioration of the uncompleted dwellings. The 1.8m walls around the lower end of the site were retained.

The site has been left as a vacant brownfield site since 2014 and Cork City Council Housing Department have taken over this site subject to planning. This part 8 application intends to revive this brownfield site with suitable housing and amenity.

4.2.3 Strategic Planning Policy Context

Provided for under statute, guidance for land development proposals in Ireland is governed by national and regional policies attaching to geographically defined areas and / or land uses and takes the form of Plans and Guidelines.

The policies and objectives of these national and regional documents underpin the policies and objectives of the Cork City Development Plan, and other non-statutory Plans that in turn, set the detailed local statutory planning context of particular sites.

This section of the report highlights the Strategic Planning Context of the subject lands i.e., this section identifies the key National and Regional Planning and Development Plans, Policies and Guidelines where they relate to the spatial organisation of land use at the subject location and the land use proposed.

4.3 National Planning Framework (NPF) 2018/ National Development Plan 2021

At the making of the NPF in 2018, current trends suggested that the Republic's population could increase by a further one million people over the period to 2040. As part of this planning policy, there's an acknowledgment that this is going to require a new thinking in how and where people live. The development potential of existing sites must be maximised whilst also making the most of available infrastructure in creating places where people can live.

To address these challenges, the Department of Housing, Planning and Local Government produced the National Planning Framework (NPF) on behalf of Government, with input from other Departments and Agencies.

The National Development Plan (NDP) articulates shared national development goals, including improved living standards, quality of life, prosperity, competitiveness, and environmental sustainability and provide greater clarity for both private and public sector investment.

Chapter 6 of the NPF looks at the development/ need of housing and how best to meet housing needs in Ireland. Section 6.6 of the NPF in relation to housing, states that this is part of a wider vision which aims to balance the provision of good quality housing. In addition, meeting the needs of a diverse population, ensuring that Irish Cities are positive places to live and promote sustainable growth.

'Furthermore, it is also stated that any new housing should prioritise the location of new housing provision in existing settlements in maximising a better quality of life for people through accessing services, ensuring a more efficient use of land and allowing for greater integration with existing infrastructure'.

Specifically, chapter 3 on effective regional development looks at Cork City in section 3.4, specific to the Southern Region. In relation to Housing potential in Cork City, the NPF outlines the importance of progressing the

4.0 DEVELOPMENT PLAN OBJECTIVES

4.3.1 National Policy Objectives

In the context of the NPF and NSO, there are several National Policy Objectives (NPO's) in the NPF that this proposal supports:

- National Policy Objective 3a seeks to 'deliver at least 40% of all new homes nationally, within the built-up footprint of existing settlements.
- National Policy Objective 3b seeks to 'deliver at least half (50%) of all new homes that are targeted in the five Cities and suburbs of Dublin, Cork, Limerick, Galway and Waterford, within their existing built-up footprints'.
- National Policy Objective 32 seeks to 'target the delivery of 550,000 additional households to 2040'.
- National Policy Objective 33 seeks to 'Prioritise the provision of new homes at locations that can support sustainable development and at an appropriate scale of provision relative to location'.

The NPF recognises the key elements that contribute to quality of life of citizens including people's ability to access housing and amenities and this is reflected in policies included in the plan.

It is considered that the subject development, which proposes 34no. residential units contributes directly to NPOs 3a, 3b and 32 through the delivery of 34 extra homes within an existing development boundary of Cork City working towards the target delivery of 2040. Furthermore, this proposal meets NPO 33 through this location at Nash's Boreen which has previously been earmarked as a site for residential development. This proposal will bring residential development to a site that has been recognized in the past as a site that can accommodate residential development.

4.3.2 National Strategic Outcomes

The National Development Plan (NDP) 2021-2030 articulates shared national development goals, including improved living standards, quality of life, prosperity, competitiveness and environmental sustainability and provide greater clarity for private sector investment.

The NPF sets out 10 no. National Strategic Outcomes (NSO's) which align with the NSO's outlined in the National Development Plan. The proposal directly promotes NSO 1 which states:

'This NSO seeks to manage the sustainable growth of our urban areas to add value and create more attractive places in which people can live. NSO 1 promotes the re-use of existing land in urban settlements to provide housing'.

The achievement of more compact development forms will require focus on the following key areas:

An acknowledgement of a need to deliver a greater proportion of residential development within existing built-up areas of cities in ensuring that, when it comes to choosing a home, there are viable attractive alternatives available to people.

It is considered that this development meets NSO 1 through the re-use of an existing derelict brownfield to development attractive affordable housing in an attractive area with topographical features that enhance the wider amenity of Nash's Boreen.

4.3.3 Housing for All - a New Housing Plan for Ireland' 2021

In September 2021, the Government launched 'Housing for All - a New Housing Plan for Ireland' which targeted solutions to the ongoing supply issues in the residential sector in the country. It is the Government's housing plan to 2030. It is a multi-annual, multi-billion Euro plan which will improve Ireland's housing system and deliver more homes of all types for people with different housing needs.

The government's overall objective is that every citizen in the State should have access to good quality homes:

- to purchase or rent at an affordable price
- built to a high standard and in the right place
- offering a high quality of life.

Ireland needs an average of 33,000 homes constructed per annum until 2030 to meet targets set out for additional households, as outlined in the National Planning Framework. These homes need to be affordable, built in the right place, to the right standard and in support of climate action. They need to satisfy demand for housing across four tenures – affordable, social, private rental and private ownership. They need to be advanced through the planning process and be built within the context of specific development targets for the five cities and major towns, and the complementary objectives of the Town Centre First policy and rural housing. Housing for All provides four pathways to achieving four overarching objectives:

- Supporting Homeownership and Increasing Affordability;
- Eradicating Homelessness, Increasing Social Housing Delivery and Supporting Social Inclusion;
- Increasing New Housing Supply; and
- Addressing Vacancy and Efficient Use of Existing Stock.



Figure 4-The four pathways of Housing for All

4.0 DEVELOPMENT PLAN OBJECTIVES

The Actions proposed under each of these Four Pathways can be summarised as follows;

Pathway 1 – Supporting Homeownership and Increasing Affordability

Increased supply of new housing, up to an average of at least 33,000 per year to 2030

An average of 6,000 affordable homes to be made available every year for purchase or for rent by Local Authorities, AHBs, the LDA and via a strategic partnership between the State and retail banks.

A new, nationally available, affordable purchase shared-equity First Home scheme until 2025 for buyers of new-build homes in private developments.

Pathway 2 – Pathway to Eradicating Homelessness, Increasing Social Housing Delivery and Supporting Social Inclusion

Provide more than 10,000 social homes each year, with an average 9,500 newbuild Social Housing Homes to 2026.

Through an updated 'Housing First National Implementation Plan', provide 1,200 tenancies over the next five years for people with a history of rough sleeping, or long-term use of emergency accommodation and who have complex needs.

Provide continued capital funding for housing for specific vulnerable cohorts, such as housing for older people and people with a disability, through the Capital Assistance Scheme and other social housing schemes.

Pathway 3 – Pathway to Increasing New Housing Supply

Over 10,000 social homes and 6,000 affordable homes for purchase or rent per annum.

In accordance with the National Planning Framework, focus on adequate supply of serviced zoned lands to meet housing need, at required density.

Establish Urban Development Zones, which will provide a coordinated, plan-led approach to the delivery of residential and urban development.

Overhaul and simplify planning legislation to ensure certainty and stability.

Pathway 4 – Pathway to Addressing Vacancy and Efficient Use of Existing Stock

A new Croí Cónaithe (Towns) Fund for servicing sites for new homes in regional towns and villages and to support refurbishment of vacant houses. Public infrastructure agencies, such as Irish Water, and local communities will work to provide serviced sites for housing. This will help attract people to build their own homes and live in small towns and villages.

Support for Local Authorities to purchase and resell up to 2,500 of the identified vacant properties in their areas. Compulsory Purchase Order (CPO) powers will be used where necessary. Local Authorities will be supported by Housing Finance Agency funding.

Incentivize the refurbishment and extension of vacant properties in towns or villages, for example, through energy retrofit supports and the Urban Regeneration Development Fund (URDF) / Rural Regeneration Development Fund (RRDF) and other mechanisms.

It is considered that the subject development, which proposes 34no. residential units contributes directly to Pathways no. 1, 2 and 3. In addition, it is considered that the provision of additional housing in the north environs will also improve the overall rental sector in the North Environs.

Some 34 no. units are to be for Cork City Council as per the development's Part 8 obligations. This will also contribute to the core objective of this plan which aims to accelerate social housing, as well as Pathway no. 2 which addresses homelessness, through the delivery of additional social housing stock. It is therefore considered that the proposed development is fully compliant with and supportive of the Action Plan.

This development contributes to Pathway no. 3 as it proposes 34 houses which will lead to an increase in housing supply. This will then have a positive impact on affordability within the area as well as the additional social homes which will elevate some issues ongoing across Cork City. This development is also in accordance with the national, regional and local policy as highlighted in the Housing for all Plan.

4.3.4 Regional Spatial and Economic Strategy for the Southern Region (RSES)

The RSES provides the basis for the integration of land use and transport planning in the Southern Region, informing the preparation and implementation of plans, programmes and projects at all levels.

In the RSES, Cork is identified as a major centre of employment, has a third-level education presence, healthcare structures, accessible public transport, and interregional road networks and is linked with international gateways of airports and ports.

Regional Policy Objective (RPO) 10 seeks to prioritise housing development in locations contiguous to existing city footprints where it can be served by sustainable transport.

RPO 10 also in seeking strategic initiatives in Local Authority Core Strategies in achieving compact growth targets in each MASP. This includes initiatives that facilitate the regeneration of vacant sites for the provision of high-quality, environmentally friendly Nearly Zero Energy Building (NZEB) affordable housing.

This proposal at Nash's Boreen is also considered to support the following regional policy objectives:

RPO 32 supporting Government policy and targets of the Housing Agency under "Rebuilding Ireland: Action Plan for Housing and Homelessness" and local authority actions that contribute to progress under the key pillars of addressing homelessness, accelerating social housing and building more homes.

RPO 36 in supporting the co-ordination of appropriate state lands for regeneration and development, opening up key sites which are not being used effectively for housing delivery; working with both public and private sector land owners. The co-ordination and selection of sites should be supported by a quality site selection process that addresses environmental criteria and proposed mitigation measures.

4.0 DEVELOPMENT PLAN OBJECTIVES

At national level, the DoHPLG, sometimes in concert with other Departments / agencies, regularly publish Guidelines for Planning Authorities to aid them in administration of planning applications and preparation of Development Plans.

The Guidelines generally refer to standards for development of certain land use categories and are therefore useful guides in designing schemes. The requirements of the Planning Guidelines are incorporated into the adopted Cork City Council Development Plan.

It is considered that the subject development supports RPO 10 through the regeneration of the derelict brownfield Radharc na Gleanna estate in bringing a new social housing to increase housing stock in Cork City to this site. RPO 36 is met by this development through the Part 8 obligations and the co-ordinated between the City Council and the private sector in achieving affordable housing units on a key site within the Fairhill area. Additionally, this statement also addresses any environmental/mitigation issues in a later section.

them in administration of planning applications and preparation of Development Plans.

The Guidelines generally refer to standards for development of certain land use categories and are therefore useful guides in designing schemes. The requirements of the Planning Guidelines are incorporated into the adopted Cork City Council Development Plan.

It is considered that the subject development supports RPO 10 through the regeneration of the derelict brownfield Radharc na Gleanna estate in bringing a new social housing to increase housing stock in Cork City to this site. RPO 36 is met by this development through the Part 8 obligations and the co-ordinated between the City Council and the private sector in achieving affordable housing units on a key site within the Fairhill area. Additionally, this statement also addresses any environmental/mitigation issues in a later section.

4.4 Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities 2018 (as updated in 2020)

The Apartment Guidelines indicate the need to build upwards rather than continuous sprawl in accommodating the housing needs of the growing population in our cities and towns. The Guidelines recognise that apartments need to become more and more the norm for urban housing solutions and to meet demand it is necessary to significantly increase the supply in urban areas. In considering the appropriate scale and extent of apartment development, it is noted that this should be increased in proximity to core urban centres, existing and proposed high frequency public transport routes and close to locations of employment. This means making provision for more residential development to take place on infill and brownfield sites to increase urban residential densities.

This site at Nash's Boreen would be categorised a Peripheral and/or Less Accessible Urban Location suitable for limited, very small-scale residential development of any scale that will include a minority of apartments at low-medium densities (i.e., < 45 dwellings per hectare). This includes sites in suburban development areas that do not meet proximity or accessibility criteria.

4.5 Urban Design Manual: A best practice guide (2009)

This proposal has been designed in accordance with Urban Design Manual: A best practice guide (2009). The design manual sets out best practice criteria for housing schemes of 30-50 units in creating well-designed sustainable neighbourhoods that will stand the test of time. This guidance is based around 12 Criteria drawn up to encapsulate the range of design considerations for residential development.



Figure 5 The 12 Criteria for Design Considerations from Urban Design Manual (2009)

4.0 DEVELOPMENT PLAN OBJECTIVES

The Actions proposed under each of these Four Pathways can be summarised as follows;

Pathway 1 – Supporting Homeownership and Increasing Affordability

Increased supply of new housing, up to an average of at least 33,000 per year to 2030

An average of 6,000 affordable homes to be made available every year for purchase or for rent by Local Authorities, AHBs, the LDA and via a strategic partnership between the State and retail banks.

A new, nationally available, affordable purchase shared-equity First Home scheme until 2025 for buyers of new-build homes in private developments.

Pathway 2 – Pathway to Eradicating Homelessness, Increasing Social Housing Delivery and Supporting Social Inclusion

Provide more than 10,000 social homes each year, with an average 9,500 newbuild Social Housing Homes to 2026.

Through an updated 'Housing First National Implementation Plan', provide 1,200 tenancies over the next five years for people with a history of rough sleeping, or long-term use of emergency accommodation and who have complex needs.

Provide continued capital funding for housing for specific vulnerable cohorts, such as housing for older people and people with a disability, through the Capital Assistance Scheme and other social housing schemes.

Pathway 3 – Pathway to Increasing New Housing Supply

Over 10,000 social homes and 6,000 affordable homes for purchase or rent per annum.

In accordance with the National Planning Framework, focus on adequate supply of serviced zoned lands to meet housing need, at required density.

Establish Urban Development Zones, which will provide a coordinated, plan-led approach to the delivery of residential and urban development.

Overhaul and simplify planning legislation to ensure certainty and stability.

Pathway 4 – Pathway to Addressing Vacancy and Efficient Use of Existing Stock

A new Croí Cónaithe (Towns) Fund for servicing sites for new homes in regional towns and villages and to support refurbishment of vacant houses. Public infrastructure agencies, such as Irish Water, and local communities will work to provide serviced sites for housing. This will help attract people to build their own homes and live in small towns and villages.

Support for Local Authorities to purchase and resell up to 2,500 of the identified vacant properties in their areas. Compulsory Purchase Order (CPO) powers will be used where necessary. Local Authorities will be supported by Housing Finance Agency funding.

Incentivize the refurbishment and extension of vacant properties in towns or villages, for example, through energy retrofit supports and the Urban Regeneration Development Fund (URDF) / Rural Regeneration Development Fund (RRDF) and other mechanisms.

It is considered that the subject development, which proposes 34no. residential units contributes directly to Pathways no. 1, 2 and 3. In addition, it is considered that the provision of additional housing in the north environs will also improve the overall rental sector in the North Environs.

Some 34 no. units are to be for Cork City Council as per the development's Part 8 obligations. This will also contribute to the core objective of this plan which aims to accelerate social housing, as well as Pathway no. 2 which addresses homelessness, through the delivery of additional social housing stock. It is therefore considered that the proposed development is fully compliant with and supportive of the Action Plan.

This development contributes to Pathway no. 3 as it proposes 34 houses which will lead to an increase in housing supply. This will then have a positive impact on affordability within the area as well as the additional social homes which will elevate some issues ongoing across Cork City. This development is also in accordance with the national, regional and local policy as highlighted in the Housing for all Plan.

4.6 Regional Spatial and Economic Strategy for the Southern Region (RSES)

The RSES provides the basis for the integration of land use and transport planning in the Southern Region, informing the preparation and implementation of plans, programmes and projects at all levels.

In the RSES, Cork is identified as a major centre of employment, has a third-level education presence, healthcare structures, accessible public transport, and interregional road networks and is linked with international gateways of airports and ports.

Regional Policy Objective (RPO) 10 seeks to prioritise housing development in locations contiguous to existing city footprints where it can be served by sustainable transport.

RPO 10 also in seeking strategic initiatives in Local Authority Core Strategies in achieving compact growth targets in each MASP. This includes initiatives that facilitate the regeneration of vacant sites for the provision of high-quality, environmentally friendly Nearly Zero Energy Building (NZEB) affordable housing.

This proposal at Nash's Boreen is also considered to support the following regional policy objectives:

RPO 32 supporting Government policy and targets of the Housing Agency under "Rebuilding Ireland: Action Plan for Housing and Homelessness" and local authority actions that contribute to progress under the key pillars of addressing homelessness, accelerating social housing and building more homes.

RPO 36 in supporting the co-ordination of appropriate state lands for regeneration and development, opening up key sites which are not being used effectively for housing delivery; working with both public and private sector land owners. The co-ordination and selection of sites should be supported by a quality site selection process that addresses environmental criteria and proposed mitigation measures.

At national level, the DoHPLG, sometimes in concert with other Departments / agencies, regularly publish Guidelines for Planning Authorities to aid them in administration of planning applications and preparation of Development Plans.

The Guidelines generally refer to standards for development of certain land use categories and are therefore useful guides in designing schemes. The requirements of the Planning Guidelines are incorporated into the adopted Cork City Council Development Plan.

It is considered that the subject development supports RPO 10 through the regeneration of the derelict brownfield Radharc na Gleanna estate in bringing a new social housing to increase housing stock in Cork City to this site. RPO 36 is met by this development through the Part 8 obligations and the co-ordinated between the City Council and the private sector in achieving affordable housing units on a key site within the Fairhill area. Additionally, this statement also addresses any environmental/mitigation issues in a later section.

4.0 DEVELOPMENT PLAN OBJECTIVES

4.7 Local Planning Policy Context

The site is currently located wholly within the planning administrative area of Cork City Council. However, up to 2019, Nash's Boreen was within the planning administrative area of Cork County Council. Thus, the proposed development is subject to the provisions of the current Cork City Development Plan 2022-2028.

4.7.1. Cork Draft Joint Housing Strategy and Housing Need Demand Assessment (2021)

A Housing Need Demand Assessment (HNDA) for local authorities to underpin and support the preparation of housing strategies and housing policy. The assessment helps local authorities develop long-term strategic views of housing need across all tenures, provides an evidence base to support new housing supply decision and informs policies about proportion of social and affordable housing required including the need for different types and sizes of provision and provides evidence in informing policies related to specialist housing provision and housing related services.

The assessment outlines how in the Cork City area, the Cork City Capacity Study has identified over 1,200 ha. of zoned lands within the Cork City boundary considered underutilised or underdeveloped and with capacity for residential development. This is estimated to have a potential yield of c. 60,000 units based on an average density of 50 units per ha, specifically in the City Hinterlands which has 300 ha.

Part 5.2.2 of the HNDA outlines that in meeting social housing demand, the council will meet identified social housing provision through delivery schemes such as social rented tenancy in a property owned and managed by the local authority and a tenancy in a property the local authority is managing. In its role as the housing authority in charge of the property, one of the range of delivery mechanisms for the Local Authority includes the construction projects delivered directly by the Councils. This mechanism will be used by the Councils to deliver social housing to meet existing housing needs.

Part 5.4.2 outlines how for the Northwest Suburbs of Cork City in the years 2022-2028 that with projected population increase of 23,728 by 2028 for the area, this will mean an increase of 603 or 3%, and a housing target of 242 units. It is further outlined that due to the proportion of families in this locality that the Northwest Suburbs may be suitable for a broad mix of housing types and tenures including for larger household sizes. Infill and brownfield sites are identified as sites to carry out this delivery of more dense development and compact growth in providing greater choice in terms of unit mix and size for the local area. As much of the districts of the Northwest are identified as disadvantaged/very disadvantaged in the Pobal HP deprivation Index, Planning policy in this area should identify opportunities to deliver social housing in the North-West that are delivered in a manner sensitive to local consideration.

A summary of Policy Objectives for the Cork Joint Housing Strategy 2022-2028 applicable in this case are:

- P01: It is the objective of Cork County Council and Cork City Council to aim for housing to be available to meet the needs of people of all needs and incomes in Cork, with an appropriate mix of housing sizes, types, and tenures in suitable locations. This includes the provision of new social and affordable housing of a high quality and appropriate to the specific needs of households. This objective will ensure a suitable housing mix provided within developments and within communities.

- P03: It is the objective of Cork City Council to provide for existing unmet housing need as identified by social housing assessments through the provision of social and affordable housing. The Council will pursue a range of delivery mechanisms including direct delivery of provision by the Council.
- P04: It is the objective of Cork City Council to provide a target of 3,492 social and affordable housing specifically to meet the forecast housing needs of new additional households over the strategy period 2022-2028 as identified in the Assessment. These social and affordable housing units will be delivered through a range of mechanisms including provision directly by the Council.
- P08: New housing delivery over the strategy period will support urban regeneration and will strengthen the roles and viability of Cork City. The Councils through the City Development Plan will support the delivery of housing on brownfield / built footprint land.
- P13: The council will support high-quality design in new housing and will promote housing that is attractive, safe, and adaptable to the needs of existing and future households including future household sizes. The Council will also support innovative constructions methods to deliver sustainable and flexible housing.

It is considered that this proposal at Nash's Boreen supports the objective of P01 through the mix of property types proposed that will provide tenures in this suitable location at Nash's Boreen. Through this Part 8 proposal, Cork City Council in its role as a local authority homeowner aims to provide affordable housing to those who are currently in need and waiting on the housing list in meeting projected targets for additional stock which supports both objectives P03 and P04. Through Cork City Council identifying the potential of the existing brownfield site at Nash's Boreen for proposed residential development supports objective P08. The quality design of each residential unit means that these properties will be sustainable in meeting the needs of future tenants and a variety of household sizes supporting objective P13.

4.0 DEVELOPMENT PLAN OBJECTIVES

4.7.2. Cork City Development Plan 2022-2028

Cork City Development Plan 2022-2028 was adopted by the Elected Members of Cork City Council at a Special Meeting on 27th June 2022. The Plan came into effect 6 weeks from the date of adoption, on 8th August 2022. The Development Plan sets out objectives in relation to housing in the city area which includes creating and maintaining sustainable neighbourhoods and the community infrastructure needed to ensure that their diverse communities benefit from a good quality of life.

This Development Plan period 2022-2028 will see key challenges being tackled in delivering homes and sustainable neighbourhoods across Cork City. The emerging Development Plan will achieve its target by:

- Expanding housing supply with a focus on bringing zoned sites forward for development within the Plan period;
- Increasing levels of brownfield development in accessible locations to achieve compact growth;
- Achieving gentle density approach across Cork City and an increase in the proportion of homes that are apartments and duplexes.

In addition, Strategic Objective 2 of the City Development Plan outlines the importance of delivering sustainable, liveable, neighbourhoods. A part of this is ensuring a new mix of housing types providing appropriate densities in brownfield, within and contiguous to the existing City footprint aligned with transport, community and social infrastructure.

This new housing development is part of a wider aim to achieve a higher quality of life for communities in achieving a healthier and wholesome lifestyle whilst also creating well-designed, safe and secure high quality residential places. This will be a key part of the aim to create a 15-minute city with integrated neighbourhoods with a wide range of homes, amenities and services and active connectivity at the heart of this concept.

It is considered that this proposal at Nash's Boreen supports the following the following objectives of the Cork City Development Plan:

Objective 3.3 in relation New Housing Supply as part of the provision for new homes to be built in Cork City, the council aims to:

- a) *Zoning sufficient lands for residential or a mix of residential and other uses to facilitate the delivery of housing;*
- b) *Designating Transformational sites capable of delivering new homes;*
- c) *Utilising the Cork City Capacity Study prepared as an input into this Plan to identify the residential development potential of sites;*
- d) *Active land management utilising the provisions of the Derelict Sites Act 1990 and Urban Regeneration and Housing Act 2015;*
- e) *Optimising the potential of brownfield sites*
- f) *Actively encouraging the re-use of vacant space within existing buildings (especially built heritage assets and those in the City Centre) and vacant homes by utilising all instruments at Cork City Council's disposal;*
- g) *Ensuring that all new housing developments contribute to the creation and / or maintenance of successful neighbourhoods and are designed to the highest standards (see Chapter 11: Placemaking and Managing Development)..*

Nash's Courtyard

DESIGN STATEMENT

PLANNING 1.0

Page | 24

Additionally, this proposal at Nash's Boreen will help in achieving:

- a) *Cork City Council combining its role as planning authority and housing authority to bring about residential development to meet demand and need.*
- b) *To unlock the development potential of brownfield sites to be used as an evidence base and business case for intervention.*
- c) *Ensuring that all new housing developments contribute to the creation and/or maintenance of successful neighbourhoods.*
- d) *Identifying and promoting the development potential of brownfield, small sites, regeneration areas and infrastructure packages to enable progress toward achieving compact growth targets.*

Furthermore, this proposal supports Objective 3.5 on Residential Density and will:

- b) *Ensure that urban density is achieved by development proposals providing for high quality sustainable residential development, ensure a balance between the protection of the established character of the surrounding area and existing residential amenities;*
- c) *Ensure that urban density is closely linked to creating successful neighbourhoods and ensuring that neighbourhoods are integrated and permeable to ensure short trips are possible to urban centres, local services and amenities;*

Additionally, this proposal will support Objective 3.6 on Housing Mix and will:

- c) *Ensure an appropriate balance of housing tenure and dwelling size to sustain balanced and inclusive communities, including a balance of family sized units and smaller dwellings tailored to suit the location*

The design of open space and all-weather play proposal will support Objective 3.32 on Inclusive Design:

- *To promote and where applicable implement inclusive design in all new development and in works to existing buildings and facilities including open space and public realm areas to optimise the facilities for all age groups and abilities. This includes embracing the National Disability Authority's Universal Design Guidelines, age friendly principles and international best practice.*

The location of this proposal will support objective 4.3 Strategic Location of New Development and is:

- *To ensure that all new residential, employment and commercial development are focused in areas with good access to the planned high frequency public transport network.*

The design and layout of this proposal will support Objective 4.5 on Permeability which outlines:

- a) *All new development, particularly alongside the possible routes identified for public transport improvements, shall include permeability for pedestrians, cyclists, and public transport so as to maximise its accessibility*
- b) *To maximise permeability, safety, security and connectivity for pedestrians and cyclists by creating direct links to adjacent roads and public transport networks in accordance with the provisions of statutory guidance as prescribed.*

4.0 DEVELOPMENT PLAN OBJECTIVES

The location and layout of this proposal will support Objective 10.92 on the North West Regeneration Area which seeks:

- *To continue to support the creation a regenerated residential neighbourhood in the North West with associated services and recreational amenities, a good mix of house type and tenure (including age-friendly downsizing opportunities), improved sustainable and active travel, community services and open space provision*

It is considered that this designated site at Nash's Boreen supports strategic objective 2 as it will provide sustainable housing density and types within a commutable distance to Blackpool District Centre and the city centre. This proposal will also provide a high-quality built environment by means of good design and the use of low maintenance high quality building, hard and soft landscaping materials.

This proposal supports strategic objective 3.3 as this scheme ensures that Cork City Council in its role as a housing authority creates a new neighbourhood in meeting the demands currently placed on the Housing Market by earmarking this brownfield site at Nash's Boreen. This proposal will also contribute to Cork City Council meeting projected demand of 17,118 houses up to 2028 as set out in the Joint Housing Strategy and Housing Need Demand Assessment.

This proposal will optimise the potential of this brownfield site as a designated site capable of delivering new homes which will result in the transformation of Nash's Boreen from a currently undesirable derelict brownfield site to a site with a high-quality residential design in a highly accessible location. This proposal will support objective 3.4 on compact growth as this development on a brownfield site will contribute to the overall aim of at least 33% of all new homes provided within brownfield sites in Cork. This proposal outlines Cork City Council combining its role as planning authority and housing authority in meeting the demands currently placed on the Housing Market by earmarking this brownfield site at Nash's Boreen.

This proposal identifies and promotes the development potential of this brownfield site for regeneration and infrastructure packages enabling progress toward compact housing growth targets. This proposal will ensure that this housing development contributes to the creation and/or maintenance of a successful neighbourhood where individuals and families will wish to spend a lifetime due to its design and convenient location.

This proposal supports objective 3.5 and the design of this proposal creates a place, where individuals and families will wish to spend a lifetime due to its high-quality design and a convenient location readily accessible to a range of community services and facilities. Additionally, this proposal through its design and layout, respects the existing layout in achieving a balance between creating a distinctive sustainable design concept which maximizes the site potential considering the steep slopes and wayleaves required.

This proposal supports Objective 3.6 and will meet the Joint Housing Strategy and HNDA set out for Cork City through the mix of sustainable property types provided by Cork City Council housing authority to provide affordable housing for those currently in need. Furthermore, this will ensure a new residential development with an appropriate balance of housing tenure and dwelling size to sustain balanced and inclusive communities, including a balance of family sized units and smaller dwellings tailored to suit the varied needs of household types.

This proposal supports objective 3.32 as the design complies with each of the 12 Criteria for Design Considerations from Urban Design Manual (2009) for residential development. This proposal will ensure an appropriate housing mix for different ages and those at different stages of life. This proposal will provide good quality inclusive public amenity space overlooked by the proposed development and the integration of public amenity space with the existing public amenity space within Willow Bank to the East.

This proposal supports Objective 4.3 on Strategic as this proposal is located 250m from the 203 Bus which provides regular services to Cork City Centre and existing facilities in the surrounds. This proposal supports Objective 4.5 which will result in the transformation of a site currently unwelcoming to pedestrians and cyclists to a site providing accessibility, connectivity and recreational activities for pedestrians and cyclists. This proposal will also mean a link for shared access to both Nash's Boreen and to public transport links via Willow Bank to the East.

This proposal supports Objective 10.92 as a proposal located within the North West of Cork City, this proposal has high quality individual residential units with an appropriate housing mix for different ages and different stages of life. Additionally, this proposal is characterised with the qualities of successful urban places which include a sense of place, ease of movement, open and accessible public space, suitable children's play area, no adverse issues for traffic on Nash's Boreen and sufficient parking areas.

4.0 DEVELOPMENT PLAN OBJECTIVES

4.8 Environmental Impact Assessment (EIA)

The proposal at this site consists of the redevelopment and extension of a brownfield site in an established suburban area. The cumulative area is 7014 sqm and the development site area is 0.15Ha.

The proposed development is not subject to Environmental Impact Assessment Screening. Given the scale and location of this proposal, the screening determination may conclude that the proposed development is not a project of a size, scale or typology listed in Part 1 of Schedule 5 of the Planning and Development Regulations 2001 (as amended) requiring a mandatory Environmental Impact Assessment Report (EIAR).

Article 120 of the Regulations requires that where a local authority proposes to carry out a 'subthreshold' development ('threshold referring to mandatory EIAR thresholds as above) that they shall carry out at least a preliminary assessment of the nature, size or location of the development.

Having regard to the projects listed within Part 2, Schedule 5 and the criteria outlined in Schedule 7 of the Planning and Development Regulations 2001 (as amended) it is concluded that the proposed development will not have likely significant effect, indirect or direct, on the receiving environment, either on its own or cumulatively with other development. Having regard to the effects of the proposal it is our professional opinion that no adverse impacts occur such as to warrant the preparation of an EIAR for sub threshold development. Therefore, the preliminary examination has reached conclusion of no requirement for EIA as at Article 120(b)(i) as there is no real likelihood of significant effect on the environment arising from the proposed development.

In addition, the proposed development has been screened to determine whether an Environmental Impact Assessment (EIA) is required and it has been concluded that there will be no real likelihood of significant effects on the environment arising from the proposed development and that an EIA is not required

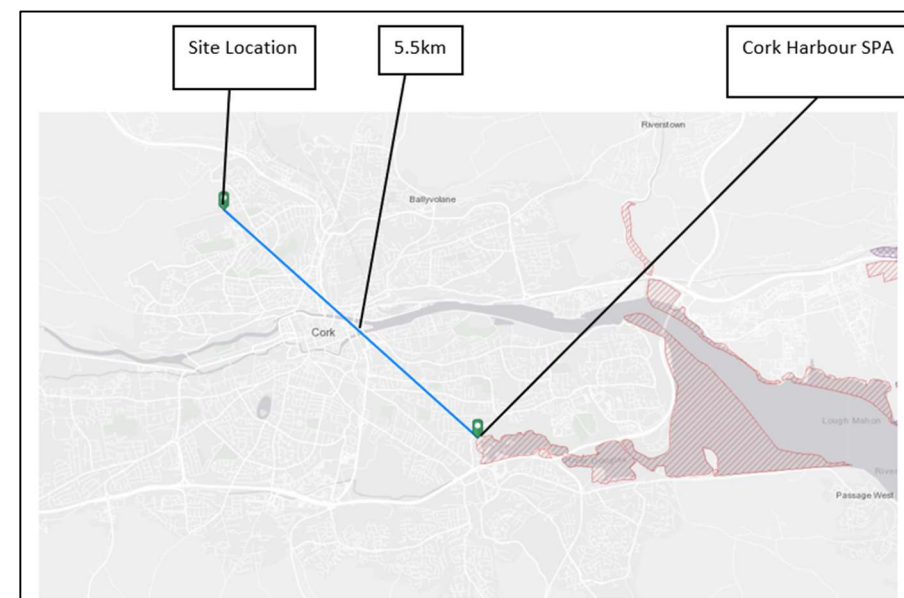
4.9 Appropriate Assessment (AA)

National Planning Guidance includes Appropriate Assessment (AA) of Plans and Projects in Ireland, published in 2009. Appropriate Assessment, as a series of sequential step as set out under Articles 6(3) and 6(4) of the Habitats Directive has its purpose described in the guidelines: "...to determine, on the basis of preliminary assessment and objective criteria, whether a plan or project, alone to in combination with other plan and projects, could have significant effects on a Natura 2000 site in view of the sites conservation objectives." Article 6(3) is concerned with strict protection of sites by virtue of their having inherent special characteristics or being a special habitat for protected species and 6(4) allows certain limited derogation. The network of sites that are protected by EU Environmental Directives are called Natura 2000 sites, part of the Natura 2000 Network. Planning and Development statutes refer to these sites as 'European sites'.

Where AA determines that significant effects may occur on the Natura 2000 Network it is incumbent upon development proposals to be accompanied by a site and development impact assessment presented as a Natura Impact Statement (NIS). Where a development proposal is by a local authority, Article 250 of the Regulations requires that the authority carry out a screening of the proposed development.

As illustrated below, the application site does not contain nor is it immediately adjacent to any Natura 2000 sites. It is located 5-6km away from the Cork Harbour SPA (Site Code IE0004030) that covers the northwestern part of the harbour and down to the mouth of the harbour located south where the river opens up to the Celtic Sea. This is separated from the site by a few suburban areas as well as City area tributaries of the river. Additionally, the proposal is located 10.5km away from the Great Island SAC and this is separated from the site by a few suburban areas to the east. Thus, having regard to the nature and scale of the proposed development on a brownfield residential site and its distance and relationship to the nearest European Site, Appropriate Assessment Screening has found that the proposed development, either alone or in-combination with other plans and/or projects, will have no potential significant impacts on any European site, in light of their conservation objectives. Therefore, progression to Appropriate Assessment is deemed not to be required.

In accordance with the Habitats Directive, an Appropriate Assessment (AA) Screening has been carried out on the project, in relation to any potential impacts upon the Cork Harbour Special Protection Area [Site No. 004030] and the Great Island Channel Special Area of Conservation [Site No. 001058]. The findings of the AA screening note that no significant effects on any Natura 2000 sites is likely and it was not necessary to undertake any further stage of the Appropriate Assessment process.



4.0 DEVELOPMENT PLAN OBJECTIVES

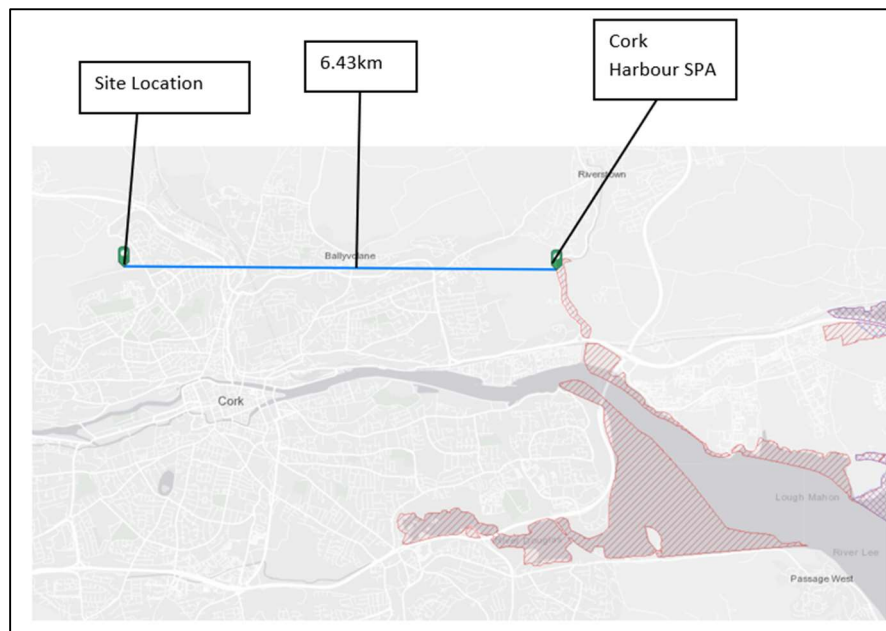


Figure 6- Proximity of proposed site to Natura 2000 Sites

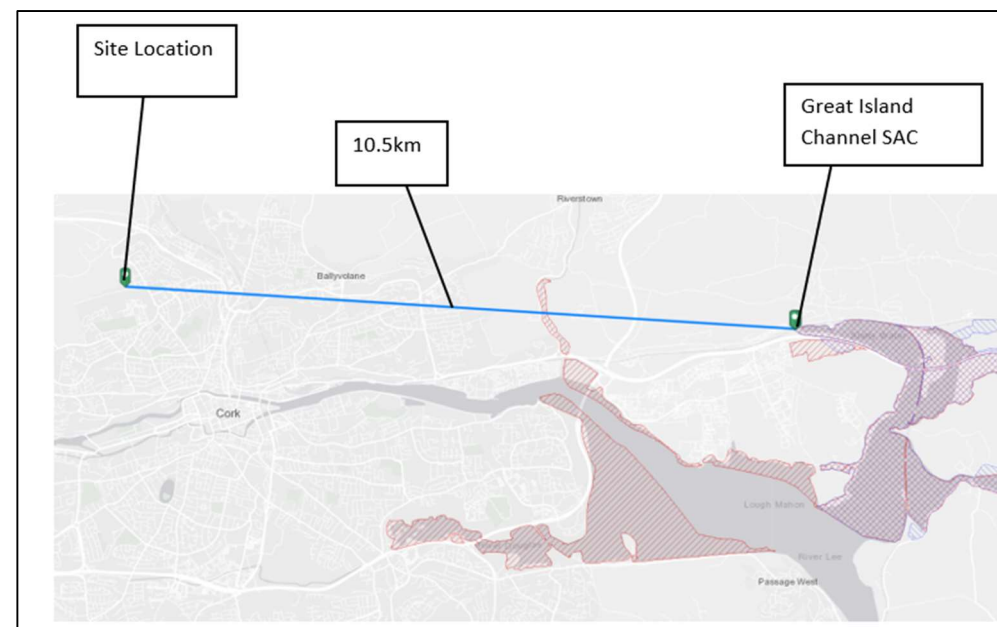


Figure 6A - Proximity of proposed site to Natura 2000 Sites

4.10 Conclusion

This planning statement has been completed to demonstrate the development proposal's meeting of relevant development standards and promotion of relevant planning policy and objectives. The report is intended to accompany an application to seek consent for the proposed development consisting of the development at Nash's Boreen for a residential use. The application will be made in accordance with Part 8 of the Planning and Development Regulations, 2001 as amended. Having regard to the matters set out in this report, the proposed redevelopment at Nash's Boreen is concluded to be appropriate in the context of the proper planning and sustainable development in Cork City and the proposal is in accordance with relevant planning policies and objectives.

by
Cunnane Stratton Reynolds

September 2022
No. 21782

5.0 URBAN DESIGN CRITERIA

- 1 Context** How does the development respond to its surroundings?
- 2 Connections** How well connected is the new neighbourhood?
- 3 Inclusivity** How easily can people use and access the development?
- 4 Variety** How the development promote a good mix of activities?
- 5 Inclusivity** How does the development make appropriate use of resources, including land?
- 6 Distinctiveness** How do the proposals create a sense of place?
- 7 Layout** How does the proposal create people friendly streets and spaces?
- 8 Public Realm** How safe, secure and enjoyable are the public areas?
- 9 Adaptability** How will the buildings cope with change?
- 10 Privacy and Amenity** How does the scheme provide a decent standard of amenity?
- 11 Parking** How will the parking be secure and attractive?
- 12 Detailed design** How well thought through is the building and landscape design?

1 Context How does the development respond to its surroundings?



RESPONSE TO SURROUNDINGS:

The scheme concept has been developed to complete the south-western quarter of residential development which commenced in the late 1990's to the north of Nash's Boreen and west of upper Fairhill.

Diagram 1

The proposal avails of an opportunity to provide connectivity between existing developments, Nash's Boreen and future residential development to the east in a manner which does not presently exist.

Cont`d.

To the south, Building form and setting are arranged to address Nash's Boreen, continue the present building line and to enclose a new public space at the centre of the site.

This public space integrates and enhances the present amenity space in Willow Bank and becomes as a fulcrum for the proposed connectivity between the new and presently isolated residential developments surrounding the site.

A Building line to the northern boundary provides back to back development with the adjoining Fairfield Meadow.

3.1 CONTEXT

The site is situated on the north side of the city with well established retail, commercial and employment centres located in close proximity. Refer to section 2.1 & 2.2 above.

Abounded by medium density residential development to the north, Fariveiw Meadow and to the east by Willow Bank the site forms the leading edge of suburban development which can occur on the northern side of Nash`s Boreen travelling west.

Lands on the southern side of Nash`s Boreen are zoned for residential development under the previous East Cork Cobh Section – Local Area Plan. This zoning has been retained under the current draft city plan. Detached, private dwellings form a ribbon along Nash`s Boreen to the west of the site.

SITE HISTORY:

Planning permission was precured by a private developer for the development of the subject site in the early 2000`s. The development commenced and was constructed to roof stage with substantial service infrastructure in place.

Further to financial difficulties, construction works ceased and the site was close. Becoming derelict and a target for vandalism, resulting in a serious Health & Safety concern.

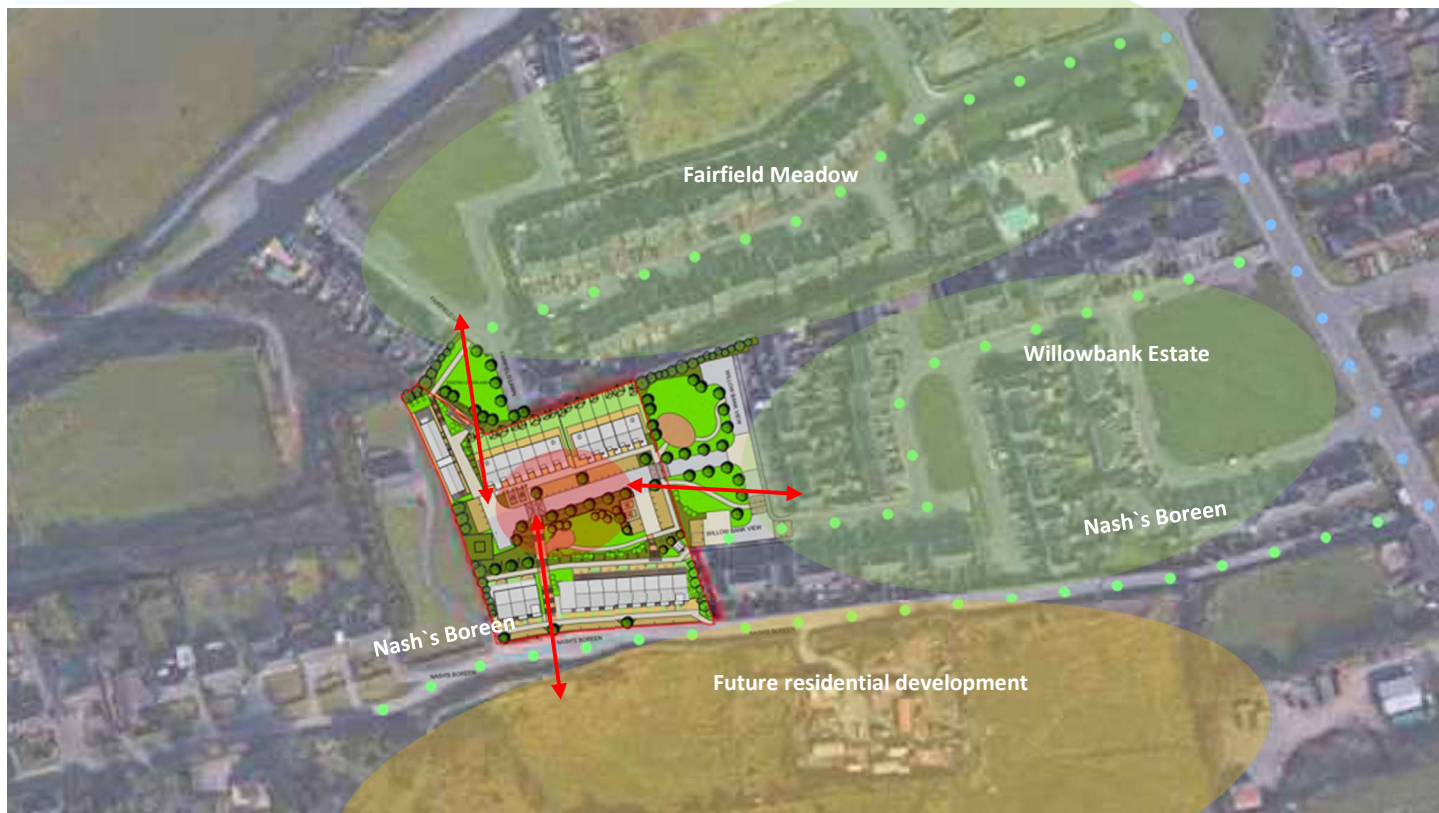
Following recourse to the courts, Cork County Council demolished standing structures circa 2016 to make the site safe. The lands have remained overgrown and unused since. Currently the site is a target for dumping and anti-social behavior as set out elsewhere in this document.

Cont`d.

In order to accommodate the steep gradient of the site, the proposed internal courtyard / amenity space is formed at a level lower than the existing lands to the west. The change of level and heavy planting of this boundary encloses the site from the west.

An existing terrace of housing on the running north to south in Willow bank addresses the courtyard and completes the enclosure of the space.

2 Connections How well connected is the new neighbourhood?



Nash's Courtyard

DESIGN STATEMENT

Existing Pedestrian connectivity to Upper Fairhill dashed green.

Proposed pedestrian gateway to The courtyard, Willow Bank and Fairfield Meadow.

View to east on Nash's Boreen

3.2 CONNECTIONS:

The intent of the scheme from the perspective of connectivity is to:

- Provide an opportunity for the proposed scheme to encourage pedestrian and cyclist connectivity between the various residential estates in the quadrant to the north and west of Upper Fairhill along natural desire lines.
- Provide comfortable and safe connectivity for future residents with Public transport / bus routes on Fairhill Upper. Routes include regular bus to the city centre and the nearby Neighborhood centre of Blackpool.

Bus stops in both directions are available on Fairhill upper to the east of Willow Bank.

- Provide an active frontage between the scheme and Nash's Boreen. To-date Willow bank has turned its back on Nash's Boreen removing potential passive supervision of the space.

The proposal provides for front doors and a constant passive and active supervision of the Boreen at this location.

- A gateway arrangement to the western end of the terrace addressing Nash's Boreen provides stepped access to the interior of the scheme. Providing connectivity along desire lines between the proposed scheme and Nash's Boreen.

- The design will assist the development of residential zoned lands to the south. Providing pedestrian connectivity via Willow Bank and Fairfield to public transport on Fairhill upper and pedestrian and cyclist connectivity further afield.

A route via the proposed development and Willowbank for example avails of passive and active supervision for its entire length whereas Nash's Boreen has limited overlooking travelling to Fairhill and can be isolated with elements of anti social behavior.

3 Inclusivity How easily can people use and access the development?



3.3 INCLUSIVITY:

The proposed development has been designed to offer a broad range of accommodation choice in terms of unit size and configuration. The variety of dwellings will attract a wide range of people and household types.

- The approach routes, entrances and accommodation have been designed to incorporate the provisions of Part M Access Use 2010.
- Houses, terraces, duplexes and apartments are provide with level access, accessible circulation and sanitary provisions. Parking is provided close to each unit in a communal arrangement in close proximity.

4 number car parking spaces for people with mobility access issues are provided.

- Roads and footpaths within the scheme and providing connectivity to existing infrastructure have a gradient of 1:21 or greater.

Ramps and steps are designed to comply with Technical Guidance Document Part M.

- The proposed development includes a variety of open spaces and play areas which all encourage social interaction and interaction between existing and new neighborhoods.

- All areas are designed to be accessible to all in the community which encourages the use of these public spaces. All buildings are designed to provide passive surveillance of public spaces, streets and circulation spaces.

- The sites steeply sloping contours have been adopted to maximise connectivity and the enjoyment of the public amenity spaces by all.



- Neighbourhood Play Area
- Kickabout Area
- Open Space
- Seating Area
- Connection with Neighbourhood Play Area



- KEY
- Internal Circulation
 - Wider connectivity
 - Connection town centre



Part M – Car Parking



Accessible Amenity Space

4 Variety How the development promote a good mix of activities?



3.4 VARIETY:

The limited nature of the scheme limits the variety of activities that can occur on site.

A central location ensures that a broad range of retail, service, recreational and employment hubs are available within close proximity to the site. Such hubs including the city centre are accessible via public transport, pedestrian & Bicycle and private vehicular transport.

The proposed mix of house types have been influenced by the following:

- Planning policy on housing mix.
- The need to cater for the variety of individual and family arrangements. Thus the provision of 1, 2, 3 and 4 bedroom units.
- The need to provide for mixed communities with a range of house types, sizes and mobility restrictions.
- The nature of existing housing stock.
- Cork City Council requirements.

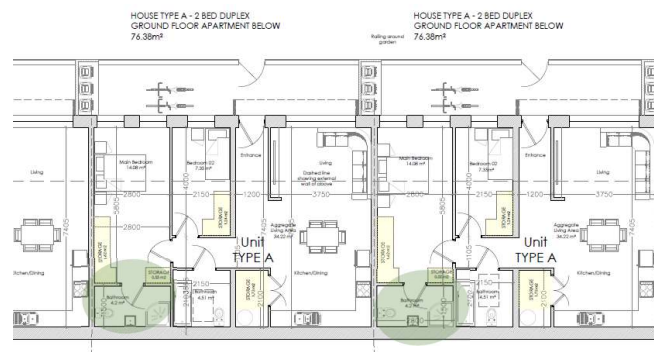
The scheme caters for in summary:

- Single storey one and two bedroom apartments at both ground and first floor level. A number of apartments have bathrooms which can be adopted for individuals with mobility issues.
- 4 Bedroom, three storey dwellings with private gardens.
- 3 Bedroom, Duplex, two and three storey units.



One and two bed, ground & First floor apartments to the north western corner of site

Nash's Courtyard



DESIGN STATEMENT



Potential accessibility / wet room arrangement

5 Inclusivity How does the development make appropriate use of resources, including land?

| SUMMARY - DENSITY | | | |
|---|-------|----------------|----------|
| PLOT RATIO | Acres | m ² | Hectares |
| SITE | | | |
| Site Area (Proposed subject site red line) | 1.74 | 7051.6 | 0.705 |
| Discountable Area | | 1331 | |
| DEVELOPABLE SITE AREA (Refer to Drg. 20-15-P-102) | | 5820.6 | |
| Site & Adjoining Local Area (Yellow line) | | | |
| Site & Adjoining Local Area (Yellow line) | 3.64 | 14730 | 1.473 |
| Discountable Area | | 1703 | |
| DEVELOPABLE SITE & ADJOINING LOCAL AREA (Refer to Drg. 20-15-P-102) | | 13027 | |
| GROSS FLOOR AREA | | 3,396.00 | |
| Plot Ratio (Gross floor area/Development site) | | 0.58 | |
| SITE COVERAGE | | | |
| DEVELOPABLE SITE AREA | 1.44 | 5820.6 | 0.582 |
| Building plan area | | 1035.86 | |
| SITE COVERAGE | | 17.8% | |
| OPEN SPACE PROVISION (USEABLE GREEN SPACE) | | | |
| DEVELOPABLE SITE AREA (Refer to Drg. 20-15-P-102) | 1.44 | 5820.6 | 0.582 |
| Open Green Space Provision Green Open Space 1 | | 500 | 0.050 |
| TOTAL | 0.12 | 500 | 0.050 |
| Green space allocation % | | 8.6% | |
| DEVELOPABLE SITE AREA & ADJOINING LOCAL AREA | | | |
| DEVELOPABLE SITE AREA & ADJOINING LOCAL AREA (Refer to Drg. 20-15-P-102) | 3.64 | 14730 | 1.473 |
| Open Green Space Provision Green Open Space 1 | | 500 | 0.050 |
| Shared Existing Green Space | | 1698.3 | |
| TOTAL | 0.34 | 2198.3 | 0.220 |
| Green space allocation on site & adjoining % | | 14.9% | |
| RESIDENTIAL DENSITY | | | |
| DEVELOPABLE SITE AREA (Refer to Drg. 20-15-P-102) | 1.44 | 5820.6 | 0.582 |
| Number of residential units | | 34 | |
| UNITS / HECTARE | | 58 | |
| DEVELOPABLE SITE AREA & ADJOINING LOCAL AREA | | | |
| DEVELOPABLE SITE AREA & ADJOINING LOCAL AREA (Refer to Drg. 20-15-P-102) | 3.64 | 14730 | 1.473 |
| Number of residential units | | 56 | |
| UNITS / HECTARE | | 38 | |

Potential accessibility / wet room arrangement

3.5 Efficiency:

LAND USE:

A net Density of **58 units** per hectare is provided for when one considers the site in the context of the red line. This is in keeping National Guidelines on Density and considered reasonable when one takes account of:

- Adjoining land use densities.
- Difficult site contours
- Wayleaves
- Connectivity Requirements.

The scheme provides for **9%** of useable amenity space within the redline. Refer to page 11 of this document for further details.

The proposed design provides for integration with surrounding estates and green spaces. When density and green space are considered within the notional yellow line on the plan below.

Development density is revised to **38 units / Hectare** and useable **amenity space 15%**. All amenity space deemed useable has a cross fall of less than 1:40.

Energy Efficiency : Refer to Appendix B.2.1.1 Residential Energy Assessment



6 Distinctiveness How do the proposals create a sense of place?



Proposed contemporary terrace and pedestrian gateway to the interior of the site.



Sample landscaping and amenity space



Distinctive building design and materials to the inner courtyard



Distinctive pedestrian entrance to Nash's Boreen

3.6 Distinctiveness:

The layout has recognisable features which help to reinforce a sense of place and identity for residents. Such features include:

- A prominent pedestrian access point from Nash's Boreen to the interior of the site.
- Distinctive landscape spaces to the centre, east and north-west of the scheme.
- Strong, contemporary interface with Nash's Boreen.
- High quality / low maintenance landscaping
- Distinctive finishes which will require little maintenance and retain a freshness over time.
- Various forms of building design to address specific features of the site including connectivity to adjoining developments and Nash's Boreen.
- Making use of the steep contours on the site by means of innovative building and landscape design.

The scheme provides a positive addition to its locality by the scale, addition of amenity features and interaction with Nash's Boreen.

The scheme has been designed to provide a distinct sense of place within the courtyard formed by the western edge of the Willow Bank Estate, the enclosure of multi storey units to the north and south and a change of levels to the west.

Views are maximized to the north from within the scheme and the prominent elevations have been treated to reduce massing and add interest and passive overlooking.

7 Layout How does the proposal create people friendly streets and spaces?



3.7 Layout:

Existing massing used to form enclosure and place

Enclosure of the central courtyard incorporating amenity space and home zones.

Proposed massing used to form enclosure and place

Changes in levels and planting enclose the site form the west.

The layout has been developed with two primary purposes in mind. Provide a safe, welcoming and engaging space within the development.

This is achieved by unifying the existing amenity space and the existing enclosing houses of Willow Bank to enclose the space.

Provide an active and attractive interface with Nash's Boreen.

The placement of the various development blocks, particularly on the north and southern boundaries. The dual aspect / direction of entrance to the split level units to Blocks D & E assist in achieving the primary intent.

In addition the placement of Block A provides for passive overlooking of the access route to Fairfield Lawn.

Place making is assisted by the use of various materials on the pavements and parking areas resulting in mini home zones which assist in reducing the scale of the development, reduce car speeds and encourage safety of users.

Landscaping as proposed in the CSR proposal is integral to enclosing and enhancing the courtyard area and streetscape to Nash's Boreen.



Three storey enclosure of the interior of the site from the south.

Nash's Courtyard



Elements to the streetside terrace provide a sense of scale and detail.

DESIGN STATEMENT



The scheme addressing Nash's Boreen and future development of vacant lands.

PLANNING 1.0

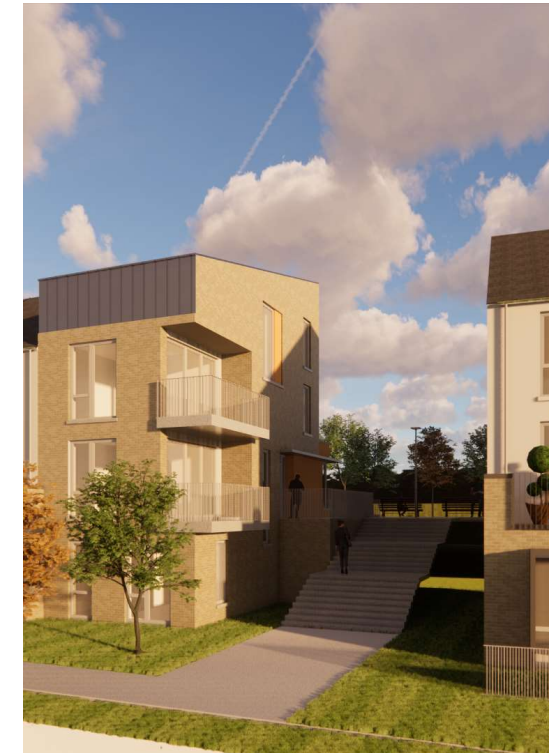


3.8 Public Realm:

Buildings have been designed to provide active frontages opening onto all of the primary open spaces and connectivity routes.



| LEGEND | |
|--------|-----------------------------|
| | PEDESTRIAN PATH |
| | ACTIVE FRONTAGE OVERLOOKING |
| | DOOR ACCESS |
| | WINDOW OVERLOOKING |



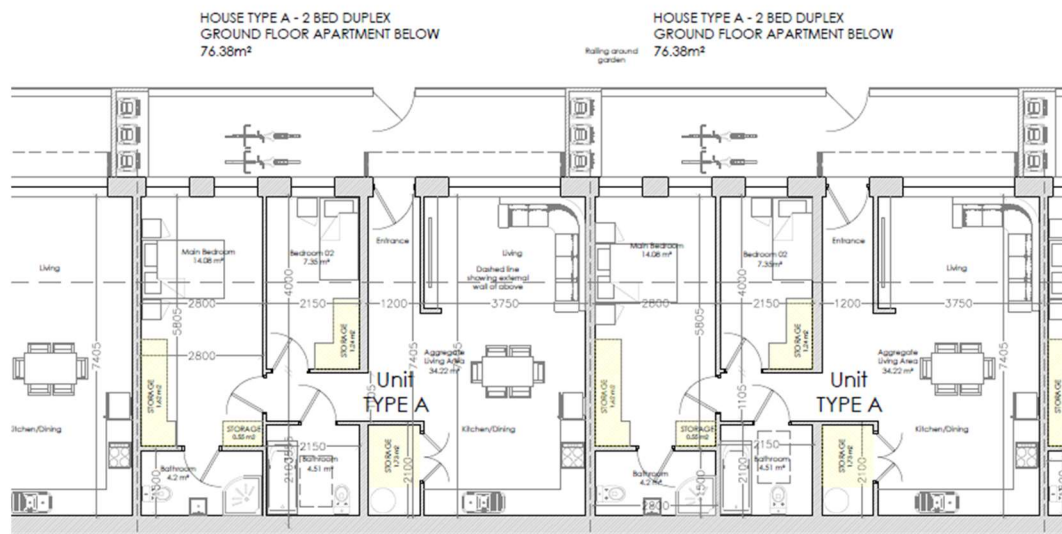
Above an example of an active gable elevation which incorporates overlooking windows, balconies and front door access adjoining the stepped access to the inner courtyard from Nash's Boreen.

Refer to the site plan on the left which sets out active frontages in relation to connectivity routes, amenity spaces and car parking.



3.9 Adaptability:

A number of house and apartment types can be modified to accommodate mobility difficulties i.e. ground floor apartments where bathrooms can be adopted for wet rooms.



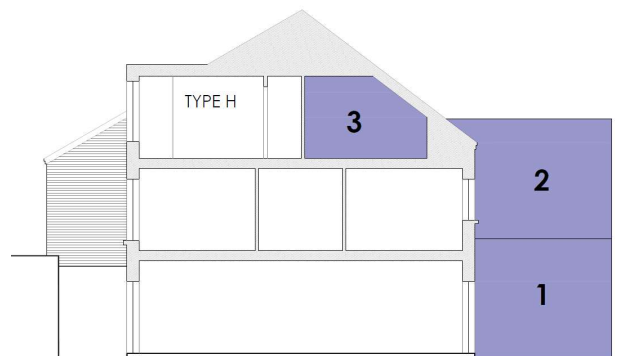
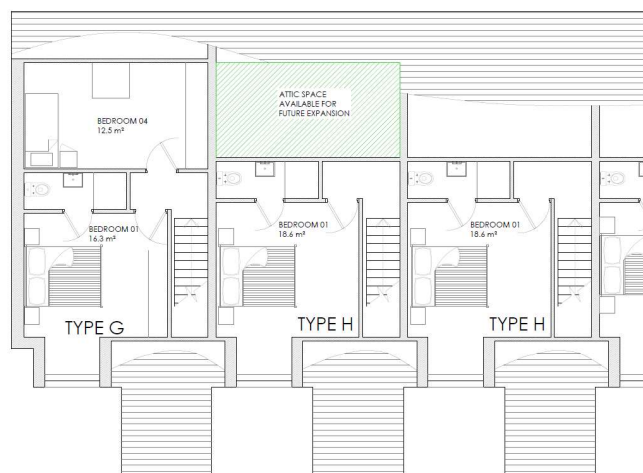
GROUND FLOOR APARTMENTS CAN BE ADOPTED FOR PEOPLE WITH MOBILITY ISSUES



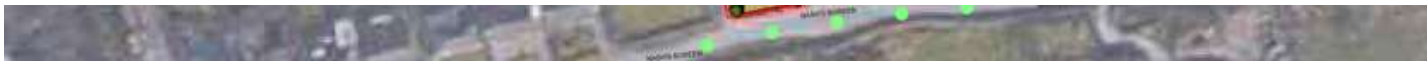
Alternatively terrace houses to the north of the site which are three storey in design, can be extended at ground, first and attic space.

The attic can be easily converted to provide a fourth bedroom or office area as per the end of terrace units.

The image above reflects such a scenario, where the front of the attic is made habitable at construction stage and the rear can be fitted out at a later date.



Three storey terrace houses can accommodate extensions to the rear and conversion of the attic space as per the end of terrace units.



3.10 Privacy & Amenity:

A number of house and apartment types can be modified to accommodate mobility difficulties i.e. ground floor apartments where bathrooms can be adopted for wet rooms.



Balconies to the rear of the upper ground floor duplex units, over look the internal courtyard and amenity space. Separating screens 1.80m high are to be provided between the balconies.



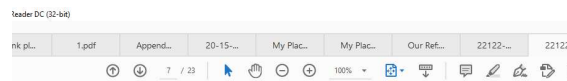
Ground floor apartments include a private space approx. 2.5m deep and enclosed by painted galvanized steel railings. This space incorporates weathered bin storage



Terrace duplex units onto Nash's Boreen include a railed front garden which includes recommended set back from the public footpath, enclosed and weathered bin stores and optional bicycle storage. All units incorporate a canopied entrance.

Nash's Courtyard

DESIGN STATEMENT



Concept : Recreation

RECREATION & AMENITY

As per the Cork County Council Recre Policy (Interim) Approach to implement we are providing:

Usable Open Space Provision 13.02%

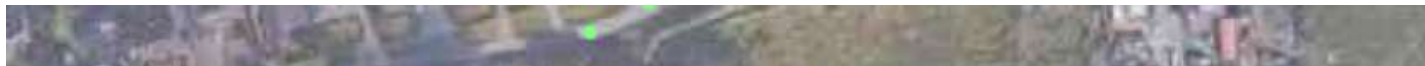
- High quality, accessible, and suitable areas of public open space
- Connectivity to other open spaces
- Suitably overlooked and passively
- Opportunities for informal play



Alternatively terrace houses to the north of the site which are three storey in design, can be extended at ground, first and attic space.

The attic can be easily converted to provide a fourth bedroom or office area as per the end of terrace units.

The image above reflects such a scenario, where the front of the attic is made habitable at construction stage and the rear can be fitted out at a later date.



3.11 Parking:

Bicycle parking is provided on site for the majority of units. Apartments 1-4 at Block A have a designated communal bin & Bicycle store.

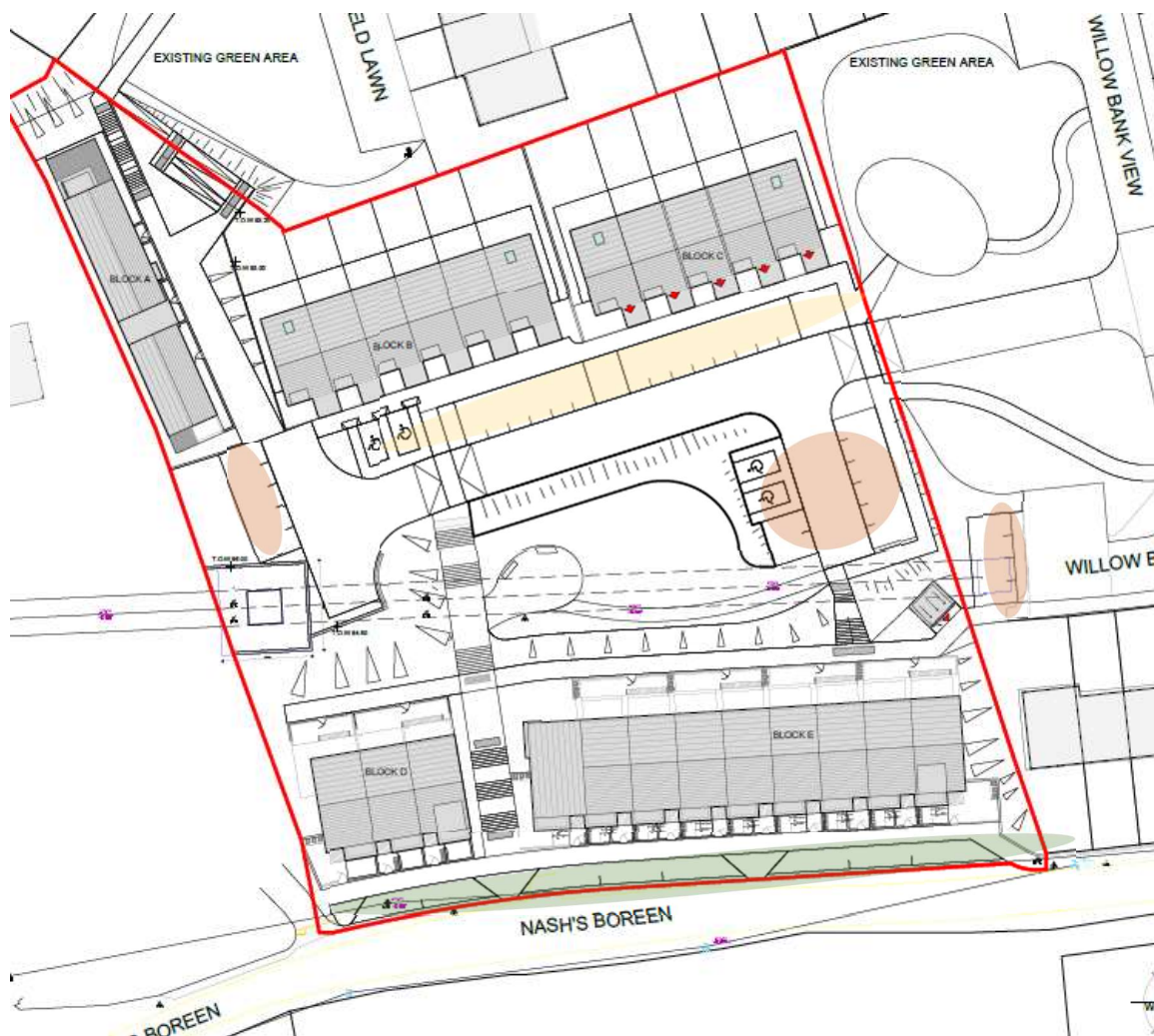


Image of parallel parking to Nash's Boreen

43 parking spaces are provided for the proposed 34 residential units.

The allocation of parking includes 8 number parallel spaces onto Nash's Boreen.

15 outside of footpath, non-designated spaces directly off of the internal road network to the south of blocks B & C.

The remainder of spaces are set in 3 parking bays to service nearby apartments at Blocks A, B and D.

All spaces will be ducted for future electric charging points.

Refer to CSR landscaping and CSR Planning report for further details.

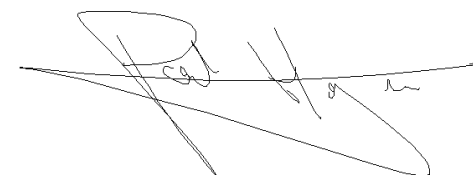


Detail imagery of proposed finishes and style of detailing, refer to the attached Building Life Cycle report.

3.12 Public Detailed Design:

Refer to the attached Building Life cycle report for details of proposed building materials, life expectancy etc.





Paul Horgan

Horgan Carroll Architects

3 Water's Edge, Riverside Way, Midleton, Co. Cork.

+353 21 4630110

